

OLD GREENVILLE HIGHWAY APARTMENTS

602 OLD GREENVILLE HIGHWAY

CLEMSON, SC

PROJECT TEAM:

Developer
Mercy Housing Southeast
260 Peachtree St. Suite 1800
Atlanta, GA 30303
404.931.9801

Architect
Goode Van Slyke Architecture Inc.
409 John Wesley Dobbs Avenue
Atlanta, GA. 30312
404.523.5525

Civil
Kimley-Horn
607 Pendleton Street, Suite 100
Greenville, SC 29601
864.501.5724

Structural
Shear Structural
3411 Pierce Drive, Suite 100
Chamblee, GA 30341
678.664.8051

MEP Engineer
PGE; Phillips Gradick Engineering
8215 Roswell Rd, Suite 925
Atlanta, GA
770.650.9061

Landscape Architect
Viridian Studios
PO Box 870136
Stone Mountain, GA 30087
404.780.2170

Construction Manager
Progress Carolina
709 N Main St.
Aynor, SC 29511
843.438.1040

Planning and Zoning
City of Clemson
300 Cochran Rd.
Clemson, SC 29631
864.653.0526

FIRE RESISTANCE RATINGS

BUILDING ELEMENTS: (IBC TABLE 601)	IBC RATING (HRS)
	V-A
STRUCTURAL FRAME: SUPPORTING ROOF ONLY:	1
BEARING WALLS:	
EXTERIOR:	1
INTERIOR:	1
INTERIOR SUPPORTING ROOF ONLY:	1
NON-BEARING WALLS:	
EXTERIOR:	0
INTERIOR:	0
FLOOR CONSTRUCTION: (INCLUDING SUPPORTING BEAMS AND JOISTS)	1
ROOF CONSTRUCTION: (INCLUDING SUPPORTING BEAMS AND JOISTS)	1

MEANS OF EGRESS

MAXIMUM TRAVEL DISTANCE (GROUP R*, A) SPRINKLERED	250 FEET (*325' - 125' W/IN UNIT + 200')
MAXIMUM TRAVEL DISTANCE (GROUP B) SPRINKLERED	300 FEET
MAXIMUM COMMON PATH OF TRAVEL (GROUP R)	125 FEET
MAXIMUM COMMON PATH OF TRAVEL (GROUP A)	75 FEET
MAXIMUM COMMON PATH OF TRAVEL (GROUP B)	100 FEET
MINIMUM CLEAR WIDTH OF EXITS OTHER THAN CORRIDORS	32 INCHES
MINIMUM CLEAR WIDTH OF EXIT STAIRS	44 INCHES

PROJECT DESCRIPTION

The project consists of five (5) residential buildings with amenities and leasing office on the ground level of one of the residential buildings and a small stand alone maintenance building. The five residential buildings consist of a mix of 1bd, 2bd, and 3bd dwelling units. Each residential building is three (3) stories with unconditioned breezeways and are Type VA construction. The maintenance building is one (1) story of Type VB construction.

Site amenities include a small dog park, playground, and outdoor seating areas.

STATE OF SOUTH CAROLINA
MINIMUM STANDARD CODES

International Building Code International Residential Code International Plumbing Code International Mechanical Code International Fuel Gas Code International Energy Conservation Code International Fire Code National Electric Code, (NFPA 70)	2021 Edition; with SC Modifications (2021) 2021 Edition; with SC Modifications (2021) 2021 Edition; with SC Modifications (2021) 2021 Edition; with SC Modifications (2021) 2009 Edition; No Modifications 2021 Edition; with SC Modifications (2021) 2020 Edition; with SC Modifications
ICC / ANSI A117.1 ADA Standards for Accessible Design Fair Housing Act Design Manual	2017 Edition; no amendments 2010 Edition; no amendments 1988 Edition; no amendments

PROPERTY DATA

ZONING	RM-4
PROPERTY CLASS	
NEIGHBORHOOD	
TAX DISTRICT	5-CLEMSON
ACRES	11.57
DENSITY: (allowed/provided)	56 BEDROOMS/ACRE / 29 BEDROOMS/ACRE

OCCUPANCY CLASSIFICATIONS

PRIMARY OCCUPANCY:	RESIDENTIAL	
CLASSIFICATION (IBC - CHAPTER 3)	FUNCTION (IBC TABLE 1004.1.2)	OCCUPANT LOAD FACTOR (IBC TABLE 1004.1.2)
RESIDENTIAL R-2	RESIDENTIAL	200 SF PER PERSON - GROSS
ASSEMBLY, A-3	AMENITIES	VARIES, SEE SHEET G-120
BUSINESS, B	LEASING + OFFICES	VARIES, SEE SHEET G-120

BUILDING CONSTRUCTION

CONSTRUCTION TYPE:	V-A (RESIDENTIAL)
SPRINKLERS: (IBC SECTION 903)	YES (NFPA 13R/NFPA 13 @ LEASING/AMENITY SPACES)
STANDPIPES: (IBC SECTION 905)	YES (CLASS 1)
FIRE DISTRICT: (REFERENCE LOCAL AUTHORITY)	CITY OF CLEMSON
HIGH RISE: (IBC SECTION 403)	NO
MEZZANINE: (IBC SECTION 505)	NO
FIRE ALARM: (IBC SECTION 907)	YES

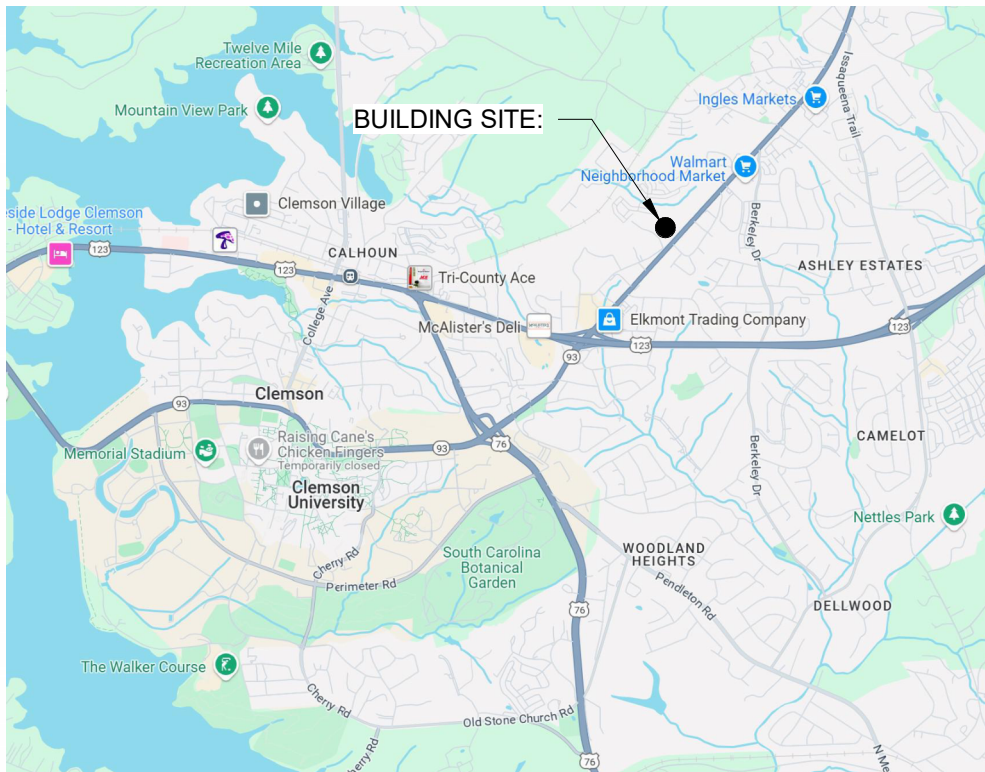
BUILDING AREAS

ACTUAL AREA:	ACTUAL AREA PROVIDED	ALLOWABLE AREA PER FLOOR:
		(A) ALLOWABLE FLOOR AREA (IBC TABLE 506.2)
BUILDING 1 TYPE V-A AREA R-2	11,854 GSF	Aa = [At + (NS x If)] Aa = [12,000 + (12,000 x 0.50)] Aa = 18,000 GSF
BUILDING 2 TYPE V-A AREA A-3	3,522 GSF	Aa = [At + (NS x If)] Aa = [11,500 + (11,500 x 0.75)] Aa = 20,125 GSF
BUILDING 2 TYPE V-A AREA R-2	9,278 GSF	Aa = [At + (NS x If)] Aa = [12,000 + (12,000 x 0.75)] Aa = 21,000 GSF
BUILDING 3 TYPE V-A AREA R-2	SAME AS BUILDING 1	SAME AS BUILDING 1
BUILDING 4 TYPE V-A AREA R-2	18,655 GSF	Aa = [At + (NS x If)]xSa Aa = [12,000 + (12,000 x 0.75)] Aa = 21,000 GSF
BUILDING 5 TYPE V-A AREA R-2	12,129 GSF	Aa = [At + (NS x If)]xSa Aa = [12,000 + (12,000 x 0.75)] Aa = 21,000 GSF

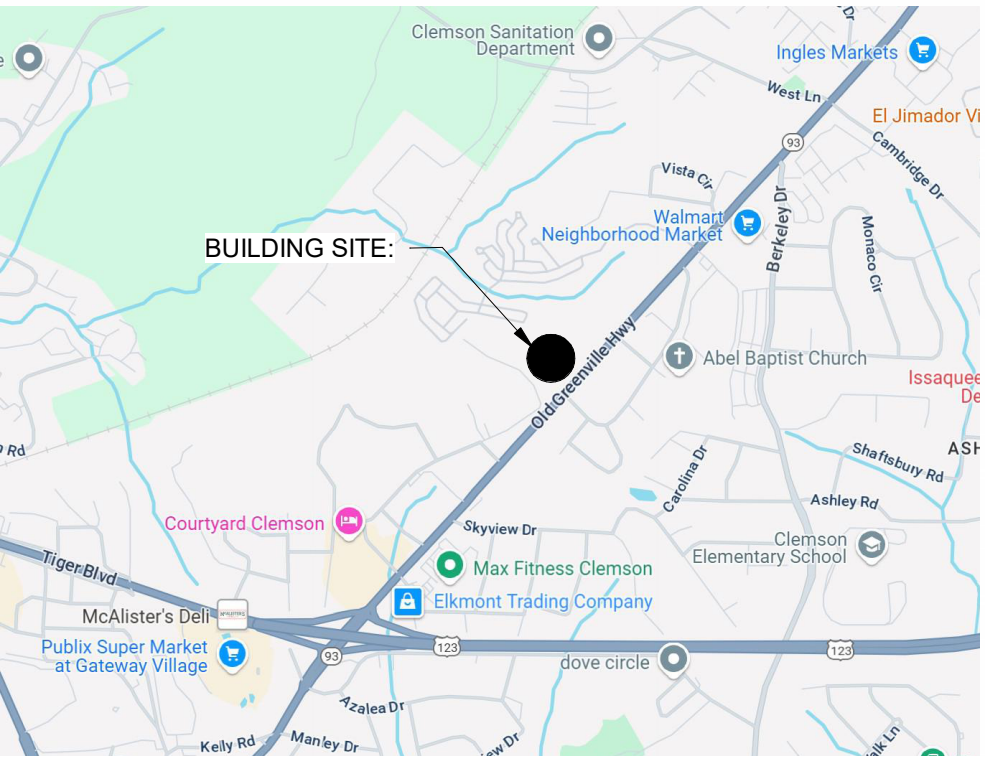
BUILDING HEIGHTS

ACTUAL HEIGHTS:		ALLOWABLE HEIGHTS:	
VA WOOD FRAMED (R-2, A-3/B)	HEIGHT	ALLOWABLE HEIGHT (IBC TABLE 504.3 and 504.4)	
BUILDING 1			
HEIGHT IN FEET:	38' - 6"	60	
NUMBER OF STORIES:	3	4	
BUILDING 2			
HEIGHT IN FEET:	38' - 4"	60	
NUMBER OF STORIES:	3	4	
BUILDING 3			
HEIGHT IN FEET:	38' - 1"	60	
NUMBER OF STORIES:	3	4	
BUILDING 4			
HEIGHT IN FEET:	37' - 6"	60	
NUMBER OF STORIES:	3	4	
BUILDING 5			
HEIGHT IN FEET:	38' - 10"	60	
NUMBER OF STORIES:	3	4	

AREA/VICINITY MAP



SITE MAP



OLD GREENVILLE HIGHWAY APARTMENTS

409 John Wesley
Dobbs Ave.



Owner
Mercy Housing Southeast
260 Peachtree St. Suite 1800
Atlanta, GA 30303
404.931.9801

Architect
Goode Van Slyke Architecture, LLC.
409 John Wesley Dobbs Avenue
Atlanta, GA. 30312
404.523.5525

Civil Engineer
Kimley-Horn
607 Pendleton Street, Suite 100
Greenville, SC 29601
864.501.5724

Structural Engineer
Shear Structural
3411 Pierce Drive, Suite 100
Chamblee, GA 30341
678.664.8051

**Mechanical/Plumbing/Electrical
Fire Protection**
PGE; Phillips Gradick Engineering
8215 Roswell Rd, Suite 925
Atlanta, GA
770.650.9061

COPYRIGHT © 2024 GVSA

Key Plan

seal/signature

rev date description

date 06/16/25
phase SCHEMATIC DESIGN
issued for REVIEW
project number 24029

COVER SHEET, PROJECT
INFORMATION

sheet number

G-000

6/23/2025 3:28:49 PM

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18
N																	
M																	
L																	
K																	
J																	
I																	
H																	
G																	
F																	
E																	
D																	
C																	
B																	
A																	
1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18

SHEET INDEX		
SHEET NUMBER	SHEET NAME	06/16/2025 SCHEMATIC DESIGN
G-000	COVER SHEET, PROJECT INFORMATION	X
G-001	SHEET INDEX	X
G-002	GENERAL NOTES, SYMBOLS, AND ABBREVIATIONS	X
G-003	CODE SUMMARY	X
G-110	LIFE SAFETY PLANS - BUILDING 1 & 3	X
G-120	LIFE SAFETY PLANS - BUILDING 2	X
G-140	LIFE SAFETY PLANS - BUILDING 4	X
G-150	LIFE SAFETY PLANS - BUILDING 5	X
A-001	ACCESSIBILITY GUIDELINES AND MOUNTING HEIGHTS	X
A-002	ACCESSIBILITY GUIDELINES AND MOUNTING HEIGHTS	X
A-004	PARTITION SCHEDULE AND TYPES	X
A-100	ARCHITECTURAL SITE PLAN	X
A-110	FLOOR PLAN - BUILDING 1 & 3 - LEVEL 1 & LEVEL 2	X
A-111	FLOOR PLAN - BUILDING 1 & 3 - LEVEL 3 & ROOF	X
A-120	FLOOR PLAN - BUILDING 2 - LEVEL 1 & LEVEL 2	X
A-121	FLOOR PLAN - BUILDING 2 - LEVEL 3 & ROOF	X
A-134	FLOOR PLAN - BUILDING 3 - ROOF	X
A-140	FLOOR PLAN - BUILDING 4 - LEVEL 1	X
A-141	FLOOR PLAN - BUILDING 4 - LEVEL 2	X
A-142	FLOOR PLAN - BUILDING 4 - LEVEL 3	X
A-143	FLOOR PLAN - BUILDING 4 - ROOF	X
A-150	FLOOR PLAN - BUILDING 5 - LEVEL 1 & LEVEL 2	X
A-151	FLOOR PLAN - BUILDING 5 - LEVEL 3 & ROOF	X
A-310	EXTERIOR ELEVATIONS - BUILDING 1 & 3	X
A-320	EXTERIOR ELEVATIONS - BUILDING 2	X
A-340	EXTERIOR ELEVATIONS - BUILDING 4	X
A-341	EXTERIOR ELEVATIONS - BUILDING 4	X
A-342	EXTERIOR ELEVATIONS - BUILDING 4	X
A-350	EXTERIOR ELEVATIONS - BUILDING 5	X
A-410	BUILDING SECTIONS - BUILDING 1 & 3	X
A-420	BUILDING SECTIONS - BUILDING 2	X
A-440	BUILDING SECTIONS - BUILDING 4	X
A-441	BUILDING SECTIONS - BUILDING 4	X
A-450	BUILDING SECTIONS - BUILDING 5	X
A-501	ENLARGED AMENITIES PLAN	X
A-520	UNIT SCHEDULE	X
A-521	UNIT TYPE - A1	X
A-522	UNIT TYPE - A1 - UFAS	X
A-523	UNIT TYPE - A2	X
A-531	UNIT TYPE - B1	X
A-532	UNIT TYPE - B1 - UFAS	X
A-533	UNIT TYPE - B2	X
A-534	UNIT TYPE - B3	X
A-535	UNIT TYPE - B4	X
A-541	UNIT TYPE - C1	X
A-542	UNIT TYPE - C1 - UFAS	X

OLD
GREENVILLE
HIGHWAY
APARTMENTS

409 John Wesley
Dobbs Ave.



Owner
Mercy Housing Southeast
260 Peachtree St. Suite 1800
Atlanta, GA 30303
404.931.9801

Architect
Goode Van Slyke Architecture, LLC.
409 John Wesley Dobbs Avenue
Atlanta, GA 30312
404.523.5525

Civil Engineer
Kimley-Horn
607 Pendleton Street, Suite 100
Greenville, SC 29601
864.501.5724

Structural Engineer
Shear Structural
3411 Pierce Drive, Suite 100
Chamblee, GA 30341
678.664.8051

**Mechanical/Plumbing/Electrical
Fire Protection**
PGE, Phillips Gradick Engineering
8215 Roswell Rd, Suite 925
Atlanta, GA
770.650.9061

COPYRIGHT © 2024 GYSA

Key Plan

seal/signature

not for construction

rev date description

date 06/16/25
phase SCHEMATIC DESIGN
issued for
project number 24029

SHEET INDEX

sheet number

G-001

OLD
GREENVILLE
HIGHWAY
APARTMENTS

409 John Wesley
Dobbs Ave.



Owner
Mercy Housing Southeast
260 Peachtree St. Suite 1800
Atlanta, GA 30303
404.931.9801

Architect
Goode Van Slyke Architecture, LLC.
409 John Wesley Dobbs Avenue
Atlanta, GA 30312
404.523.5525

Civil Engineer
Kimley-Horn
607 Pendleton Street, Suite 100
Greenville, SC 29601
864.501.5724

Structural Engineer
Shear Structural
3411 Pierce Drive, Suite 100
Chamblee, GA 30341
678.664.8051

**Mechanical/Plumbing/Electrical
Fire Protection**
PGE: Phillips Gradick Engineering
8215 Roswell Rd, Suite 925
Atlanta, GA
770.650.9061

COPYRIGHT © 2024 GYSA

Key Plan

rev date description

seal/signature

not for construction

date 06/16/25
phase SCHEMATIC DESIGN
issued for REVIEW
project number 24029

GENERAL NOTES, SYMBOLS,
AND ABBREVIATIONS

sheet number

G-002

ABBREVIATIONS

A	I	U
AB ANCHOR BOLT ABV ABOVE AC AIR CONDITIONING / AIR CONDITIONER ACOUS ACOUSTICAL AD ACOUSTIC CEILING TILE ADJ ADJACENT / ADJUSTABLE AFC ABOVE FINISH CEILING AGGR AGGREGATE ALUM ALUMINUM ALT ALTERNATE AP ACCESS PANEL APPD APPROVED APPROX APPROXIMATE APT APARTMENT ARCH ARCHITECTURAL ASPH ASPHALT AV AUDIO VISUAL	ID INSIDE DIAMETER IN INCH INCL INCLUDE INSUL INSULATION INT INTERIOR INV INVERT J JAN JANITOR JBOX JUNCTION BOX JST JOIST JT JOINT K KIT KITCHEN KO KNOCKOUT L LAB LABORATORY LAM LAMINATE LAV LAVATORY LF LAMINATE FOOT LGTH LENGTH LL LEFT HAND LH LIVE LOAD LH LONG LEG HORIZONTAL LLV LONG LEG VERTICAL LT LIGHT LTG LIGHTING	UNF UNFINISHED UNO UNLESS NOTED OTHERWISE UR URINAL V VCT VINYL COMPOSITION TILE VB VAPOR BARRIER / VINYL BASE VERT VERTICAL VEST VESTIBULE VIF VERIFY IN FIELD VWF VINYL WALL COVERING W W WEST / WIDTH WF WIDE FLANGE W WITH WO WITHOUT WC WATER CLOSET WO WOOD WI WROUGHT IRON WR WATERPROOF WR WATER RESISTANT WSCT WAINSCOT WT WEIGHT WTR WATER WWF WELDED WIRE FABRIC Y YD YARD / YARD DRAIN
B	J	W
BC BOTTOM OF CURB BD BOARD BW BETWEEN BIT BITUMINOUS BLDG BUILDING BLKG BEAM / BENCHMARK BM BOTTOM OF STEEL BOT BOTTOM BRG BEARING BSMT BASEMENT BUR BUILT UP ROOF	JAN JANITOR JBOX JUNCTION BOX JST JOIST JT JOINT K KIT KITCHEN KO KNOCKOUT L LAB LABORATORY LAM LAMINATE LAV LAVATORY LF LAMINATE FOOT LGTH LENGTH LL LEFT HAND LH LIVE LOAD LH LONG LEG HORIZONTAL LLV LONG LEG VERTICAL LT LIGHT LTG LIGHTING	W WEST / WIDTH WF WIDE FLANGE W WITH WO WITHOUT WC WATER CLOSET WO WOOD WI WROUGHT IRON WR WATERPROOF WR WATER RESISTANT WSCT WAINSCOT WT WEIGHT WTR WATER WWF WELDED WIRE FABRIC Y YD YARD / YARD DRAIN
C	M	S
CAB CABINET CB CATCH BASIN CEM CEMENT CIP CAST IN PLACE CJ CURB INLET CJ CONTROL JOINT CL CENTERLINE CLG CEILING CLOS CLOSET CLR CLEAR CM CONSTRUCTION MANAGER CMU CONCRETE MASONRY UNIT CNK COUNTERSINK CO CLEANOUT COL COLUMN CONC CONCRETE CONN CONNECTION CONST CONSTRUCTION CONT CONTINUOUS / CONTINUE CONTR CONTRACTOR CORR CORRIDOR / CORRUGATED COURSE COURSE CT CERAMIC TILE CTR CENTER CW COLD WATER	MAS MASONRY MAT MATERIAL MAX MAXIMUM MDF MEDIUM DENSITY FIBERBOARD MDO MEDIUM DENSITY OVERLAY MECH MECHANICAL MED MEDIUM MEMB MEMBRANE MEZZ MEZZANINE MFR MANUFACTURER MH MANHOLE MIN MINIMUM MISC MISCELLANEOUS MO MARBLE TILE MT MOUNTED MTG MOUNTING MTL METAL MUL MULLION N N NORTH NIC NOT IN CONTRACT NO NUMBER NOM NOMINAL NTS NOT TO SCALE	OA OVERALL OBS OBSOLETE OC ON CENTER OD OUTSIDE DIAMETER OFC OFFICE OH OVERHEAD OPNG OPENING OPP OPPOSITE OSB ORIENTED STRAND BOARD P PC PRE-CAST PERF PERFORATED PL PLATE / PROPERTY LINE PLAM PLASTIC LAMINATE PLAS PLASTIC PLBG PLUMBING PLYWD PLYWOOD PNL PANEL PORC PORCELAIN POS POINT OF SALE PR PAIR PSF POUNDS PER SQUARE FOOT PSI POUNDS PER SQUARE INCH PT PAINT / PRESSURE TREATED PVC POLYVINYL CHLORIDE PVMT PAVEMENT PWR POWER
D	O	Q
DBL DOUBLE DEMO DEMOLISH DEPT DEPARTMENT DET DETAIL DF DRINKING FOUNTAIN DIA DIAMETER DIM DIMENSION DISP DISPENSER DIV DIVISION DL DEAD LOAD DN DOWN DO DOOR OPENING DS DOWNSPOUT DW DISHWASHER DWG DRAWING	OA OVERALL OBS OBSOLETE OC ON CENTER OD OUTSIDE DIAMETER OFC OFFICE OH OVERHEAD OPNG OPENING OPP OPPOSITE OSB ORIENTED STRAND BOARD P PC PRE-CAST PERF PERFORATED PL PLATE / PROPERTY LINE PLAM PLASTIC LAMINATE PLAS PLASTIC PLBG PLUMBING PLYWD PLYWOOD PNL PANEL PORC PORCELAIN POS POINT OF SALE PR PAIR PSF POUNDS PER SQUARE FOOT PSI POUNDS PER SQUARE INCH PT PAINT / PRESSURE TREATED PVC POLYVINYL CHLORIDE PVMT PAVEMENT PWR POWER	QT QUARRY TILE QTY QUANTITY
E	R	S
E EAST EA EACH EC ELECTRICAL CONTRACTOR EF EXHAUST FAN / EACH FACE EIFS EXTERIOR INSULATION FINISH SYSTEM EJ EXPANSION JOINT ELECT ELEVATION (ABOVE GRADE) ELEV ELEVATION (BUILDING ELEVATION) ELV ELEVATOR EMER EMERGENCY ENCL ENCLOSURE EP ELECTRICAL PANEL / EDGE OF PAVEMENT EQUAL	R RADIUS / RISER RA RETURN AIR RB RUBBER BASE RD ROOF DRAIN REF REFRIGERATOR / REFERENCE REINF REINFORCED REQD REQUIRED RES RESILIENT REV REVISION RH RIGHT HAND RM ROOM RMV REMOVE RO ROUGH OPENING ROW RIGHT OF WAY RWL RAIN WATER LEADER S S SOUTH SA SUPPLY AIR SAN SANITARY SC SOLID CORE / SEALED CONCRETE SCHED SCHEDULE SMD SMOKE DETECTOR / STORM DRAIN SECT SECTION SHGT SHEATHING SHR SHOWER SHT SHEET SIM SIMILAR SLV SHORT LEG VERTICAL SPEC SPECIFICATION SPKR SPEAKER SQ SQUARE SS STAINLESS STEEL SSK SERVICE SINK STA STATION STD STANDARD STL STEEL STM STEAM STOR STORAGE STRUCT STRUCTURAL SUSP SUSPENDED SV SHEET VINYL SY SQUARE YARD SYM SYMMETRICAL	S SOUTH SA SUPPLY AIR SAN SANITARY SC SOLID CORE / SEALED CONCRETE SCHED SCHEDULE SMD SMOKE DETECTOR / STORM DRAIN SECT SECTION SHGT SHEATHING SHR SHOWER SHT SHEET SIM SIMILAR SLV SHORT LEG VERTICAL SPEC SPECIFICATION SPKR SPEAKER SQ SQUARE SS STAINLESS STEEL SSK SERVICE SINK STA STATION STD STANDARD STL STEEL STM STEAM STOR STORAGE STRUCT STRUCTURAL SUSP SUSPENDED SV SHEET VINYL SY SQUARE YARD SYM SYMMETRICAL
F	T	
FA FIRE ALARM FD FLOOR DRAIN FDM FOUNDATION FE FIRE EXTINGUISHER FEC FIRE EXTINGUISHER CABINET FF FINISH FLOOR FHC FIRE HOSE CABINET FIN FINISH OR FINISHED FLR FLOOR FLG FLASHING FLUOR FLUORESCENT FO FACE OF FP FIREPROOF FRMG FRAMING FRP FIBER REINFORCED PLASTIC FT FOOT OR FEET FTG FOOTING FURN FURNACE FURR FURRING FWC FABRIC WALLCOVERING	T TREAD T&B TOP AND BOTTOM T&G TONGUE AND GROOVE TC TOP OF CURB TEL TELEPHONE THK THICKNESS TOP TOP OF FOOTING TOS TOP OF STEEL TOW TOP OF WALL TP TOP OF PAVEMENT TS TUBE STEEL TV TELEVISION TW TOP OF WALL TYP TYPICAL TZ TERRAZZO	
G		
GA GAGE / GAUGE GALV GALVANIZED GB GRAB BAR GC GENERAL CONTRACTOR GEN GENERAL GFI GROUND FAULT INTERRUPT GFRC GLASS FIBER REINFORCED GFCMU CONCRETE GROUND FACE CONCRETE MASONRY UNIT GL GLASS OR GLAZING GND GROUND GYP GYPSUM GWB GYPSUM WALLBOARD		
H		
H HEIGHT / HIGH HB HOSE BIB HC HOLLOW CORE HDBD HARDBOARD HDCP HANDICAP / HANDICAPPED HDO HIGH DENSITY OVERLAY HDR HEADER HDW HARDWARE HDWD HARDWOOD HGT HEIGHT HM HOLLOW METAL HORIZ HORIZONTAL HR HOUR / HANDRAIL HTG HEATING HVAC HEATING, VENTILATING, AIR CONDITIONING HW HOT WATER		

SYMBOLS

&	AND
AT	ANGLE
#	NUMBER / POUND
±	PLUS OR MINUS
>	GREATER THAN
≥	GREATER THAN OR EQUAL TO
<	LESS THAN
≤	LESS THAN OR EQUAL TO
CL	CENTERLINE

MATERIALS LEGEND

ALUMINUM	ACoustic CEILING	BRICK	CONCRETE	CMU	EARTH	AGGREGATE	SAND / GYPSUM	BATT INSULATION	RIGID INSULATION	PLYWOOD	STEEL	WOOD - ROUGH FRAMING	WOOD - BLOCKING	WOOD - FINISHED
----------	------------------	-------	----------	-----	-------	-----------	---------------	-----------------	------------------	---------	-------	----------------------	-----------------	-----------------

RATED WALL LEGEND

EXISTING PARTITION	NON-RATED PARTITION	NON-RATED SMOKE-RESISTIVE PARTITION	1 HOUR FIRE RATED PARTITION	2 HOUR FIRE RATED PARTITION	3 HOUR FIRE RATED PARTITION	NON-RATED SMOKE PARTITION	30 MIN RATED SMOKE PARTITION	SMOKE BARRIER - 1 HOUR	RATED FIRE BARRIER	1 HOUR FIRE RATED PARTITION	1 HOUR SMOKE RATED PARTITION	2 HOUR FIRE RATED PARTITION	2 HOUR SMOKE RATED PARTITION	3 HOUR FIRE RATED PARTITION	4 HOUR FIRE RATED PARTITION
--------------------	---------------------	-------------------------------------	-----------------------------	-----------------------------	-----------------------------	---------------------------	------------------------------	------------------------	--------------------	-----------------------------	------------------------------	-----------------------------	------------------------------	-----------------------------	-----------------------------

SYMBOLS LEGEND

BUILDING SECTION	GRIDS HEADS / LINES
DETAIL NUMBER SHEET NUMBER A101	DIMENSIONS DIMENSION TO GRID LINE DIMENSION TO FACE OF MATERIAL
WALL SECTION	ROOM TAGS
DETAIL NUMBER SHEET NUMBER A101	ROOM NAME ROOM NAME A101
DETAIL SECTION	ROOM OCCUPANCY TAG
DETAIL NUMBER SHEET NUMBER A101	NAME 101 WALL FINISH BASE FINISH FLOOR FINISH
DETAIL / FLOOR PLAN CALLOUT	DOOR TYPE TAG
DETAIL NUMBER SHEET NUMBER A101	DOOR NUMBER 101
EXTERIOR ELEVATION	WALL TYPE TAG
DETAIL NUMBER SHEET NUMBER A101	WALL TYPE TAG 101
INTERIOR ELEVATION	WINDOW TYPE TAG
DETAIL NUMBER SHEET NUMBER A101	WINDOW TYPE TAG XX
WINDOW / CURTAIN WALL ELEVATION	CURTAIN PANEL TYPE TAG
DETAIL NUMBER SHEET NUMBER A101	CURTAIN PANEL TYPE TAG XXX
VERTICAL ELEVATION / LEVEL MARK	CEILING TAG
LEVEL NAME ELEVATION Name Elevation	CEILING TYPE CEILING HEIGHT 10'-0" AFF (GP-15)
SPOT ELEVATION	CODED NOTE
REVISION CLOUDS AND TAGS	KEYNOTE SPEC DIVISION SUB-DIVISION KEYNOTE TEXT DESCRIPTION
VIEW TITLE	FURNITURE TAG
DRAWING GRID LOCATION DRAWING NAME View Name 1/8" = 1'-0" DRAWING SCALE DRAWING SHEET SHEET REFERENCED	FURNITURE TAG 101
MATCHLINE VIEW REFERENCE	GRAPHIC SCALE
MATCHLINE A101	1/8" = 1'-0" 0 8' 12' 16' 20'
FIRE EXTINGUISHERS	NORTH ARROW
FE WALL MOUNT FIRE EXTINGUISHER FEC FIRE EXTINGUISHER CABINET	NORTH ARROW

GENERAL NOTES

1. THE CONTRACT DOCUMENTS CONSIST OF THE DRAWINGS AND PROJECT MANUAL. THE INTENT OF THE CONTRACT DOCUMENTS IS TO INCLUDE ITEMS NECESSARY FOR THE PROPER EXECUTION OF THE WORK.
2. DO NOT SCALE DRAWINGS.
3. CONTRACTOR'S SCOPE OF WORK INCLUDES ALL DRAWINGS WITHIN THIS SET AND PROJECT MANUAL. DRAWINGS NOTED FOR REFERENCE ARE FOR THE BUILDING PACKAGE AND PART OF SCOPE. COORDINATION OF ALL TRADES AND DRAWINGS AS REQUIRED.
4. PRIOR TO COMMENCING ACTIVITIES, CONTRACTOR SHALL CAREFULLY STUDY AND COMPARE THE CONTRACT DOCUMENTS AND BECOME FULLY AWARE OF THE REQUIREMENTS. CONTRACTOR SHALL TAKE FIELD MEASUREMENTS AND VERIFY FIELD CONDITIONS AND SHALL CAREFULLY COMPARE SUCH MEASUREMENTS AND CONDITIONS WITH THE CONTRACT DOCUMENTS.
5. IN THE EVENT OF INCONSISTENCIES WITHIN OR BETWEEN THE CONTRACT DOCUMENTS, CONTRACTOR SHALL PROVIDE THE BETTER QUALITY OR GREATER QUANTITY OF THE WORK, AND SHALL COMPLY WITH THE MORE STRICT REQUIREMENT UNLESS DIRECTED OTHERWISE BY THE ARCHITECT. INCONSISTENCIES DISCOVERED SHALL BE IMMEDIATELY REPORTED TO THE ARCHITECT IN WRITING.
6. THE ARCHITECT SHALL BE THE INTERPRETER OF THE REQUIREMENTS OF THE CONTRACT DOCUMENTS. THE ARCHITECT'S DECISIONS IN MATTERS RELATING TO AESTHETIC EFFECT WILL BE FINAL IF CONSISTENT WITH THE INTENT OF THE DOCUMENTS AND SUBJECT TO THE OWNER'S APPROVAL.
7. BY COMMENCING ACTIVITIES, EACH CONTRACTOR INDICATES ACCEPTANCE OF THE CONTRACT DOCUMENTS AND THE LOCAL CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED AND ASSUMES APPROPRIATE RESPONSIBILITY FOR SUCH PERFORMANCE.
8. ALL WORK SHALL CONFORM TO APPLICABLE FEDERAL, STATE, AND LOCAL CODES, ORDINANCES, REGULATIONS, AND RESTRICTIONS. CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS AND APPROVALS.
9. THE CONTRACTOR SHALL APPLY AND PAY FOR ALL NECESSARY INSPECTIONS ON BEHALF OF THIS PROJECT.
10. CONTRACTOR SHALL BE FULLY LICENSED AND INSURED TO PERFORM THE WORK OF THIS CONTRACT AND SHALL PROVIDE CERTIFICATES TO OWNER AS PROOF THEREOF.
11. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR INITIATING, MAINTAINING, AND SUPERVISING HIS OWN SAFETY PROGRAM IN CONNECTION WITH THE WORK.
12. ALL NEW WORK SHALL BE SQUARE, LEVEL, TRUE, PLUMB, ETC. UNLESS NOTED OTHERWISE. ROOFS, SLABS, AND FINISH GRADES SHALL BE PROPERLY SLOPED TO DRAIN AWAY FROM THE BUILDING.
13. ANY WORK JUDGED BY THE OWNER AND ARCHITECT TO HAVE BEEN ACCESSIBLE FOR INSPECTION PRIOR TO COMMENCEMENT OF THE WORK AND NOT INCLUDED IN THE CONTRACT BY THE CONTRACTOR WILL BE DEEMED THE RESPONSIBILITY OF THE CONTRACTOR.
14. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY TEMPORARY SHORING NECESSARY DURING CONSTRUCTION TO INSURE STRUCTURAL INTEGRITY OF THE BUILDING.
15. LOCATION/ARRANGEMENT OF MECHANICAL, ELECTRICAL, AND PLUMBING EQUIPMENT ON ARCHITECTURAL AND STRUCTURAL DRAWINGS IS APPROXIMATE. CONTRACTOR SHALL PROPERLY COORDINATE WORK OF VARIOUS TRADES WITH RESPECT TO INSTALLATION OF EQUIPMENT. CONTRACTOR SHALL VERIFY ALL EQUIPMENT LOCATIONS AND DIMENSIONS OF EQUIPMENT.
16. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND DIMENSIONS. ANY DISCREPANCIES WITH THE DRAWINGS SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION IN WRITING PRIOR TO THE START OF WORK. ALL DIMENSIONS ARE TO BE COORDINATED IN FIELD WITH ALL ENGINEERING DRAWINGS AS WELL AS MANUFACTURER DRAWINGS AND OWNER FURNISHED EQUIPMENT.
17. ALL TRAFFIC FLOW ABOUT PROJECT SITE IS TO BE MAINTAINED FOR SAFE ENTRANCE AND EGRESS. ANY DISRUPTION OF TRAFFIC MUST BE SCHEDULED WITH THE APPLICABLE JURISDICTIONS 48 HOURS IN ADVANCE OF WORK TO BEGIN.
18. FIELD VERIFY ALL EXISTING AND NEW UTILITIES PRIOR TO ANY WORK BEGINNING. ANY TAPS OR SHUT DOWNS MAY REQUIRE ADDITIONAL NOTICE.
19. CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF ALL WORK DURING CONSTRUCTION. DESTRUCTION/DISRUPTION OF FINISHED WORK WILL REQUIRE CONTRACTOR TO REPAIR WORK TO ITS ORIGINAL CONDITION PER ARCHITECT'S APPROVAL. PROVIDE ADEQUATE TEMPORARY PROTECTION FROM THE ELEMENTS DURING CONSTRUCTION AT ROOF AND EXTERIOR WALL OPENINGS.
20. CONTRACTOR SHALL AT ALL TIMES KEEP THE PREMISES FREE OF ACCUMULATION OF WASTE MATERIALS OR RUBBISH. PREMISES TO BE SWEEP CLEAN DAILY OF RELATED CONSTRUCTION DEBRIS. AT THE COMPLETION OF THE WORK, LEAVE THE JOB SITE FREE OF ALL MATERIALS AND BROOM CLEAN.
21. UPON COMPLETION OF THE WORK, THE CONTRACTOR SHALL COMPILE A "PUNCH LIST" OF CORRECTIONS AND UNSATISFACTORY AND/OR INCOMPLETE WORK. FINAL PAYMENT WILL BE CONTINGENT UPON THE COMPLETION OF THESE ITEMS.
22. ANY CHANGES WHICH RESULT IN EXTRA COST SHALL NOT PROCEED WITHOUT WRITTEN AUTHORIZATION BY THE ARCHITECT AND OWNER.
23. CONTRACTOR SHALL PRESENT COMPLETED CONSTRUCTION TO OWNER FOR ACCEPTANCE, CLEAN AND READY FOR OCCUPANCY.
24. CONTRACTOR SHALL PRESENT OWNER WITH CERTIFICATE OF OCCUPANCY AND RELEASE OF LIEN STATEMENTS UPON COMPLETION.
25. ALL DISCREPANCIES BETWEEN EXISTING CONDITIONS AND THOSE SHOWN WITHIN THIS SET ARE TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR RESOLUTION.
26. ALL CUTTING AND PATCHING SHALL BE DONE BY CRAFTSMEN SKILLED IN THE TYPE OF WORK INVOLVED.
27. PERFORM CUTTING AND PATCHING WORK USING METHODS TO AVOID DAMAGE TO OTHER WORK, AND WHICH WILL PREPARE SURFACES TO RECEIVE PATCHING AND FINISHING IN ACCORDANCE WITH CONTRACT DOCUMENTS.
28. REFER TO SECTION 06 10 00 PARAGRAPH 3.04 B ROUGH CARPENTRY FOR FIRE TREATED PLYWOOD, WOOD FRAMING, AND BLOCKING REQUIRED THROUGH OUT PROJECT.

6/19/2025 7:32:22 AM

CODE AND PROJECT INFORMATION

BUILDING INFORMATION	
TENANT	OLD GREENVILLE HIGHWAY APARTMENTS
OWNER NAME	MERCY HOUSING SOUTHEAST
OWNER ADDRESS	260 PEACHTREE ST, SUITE 1800 ATLANTA, GA 30303
OWNER PHONE	404.931.9801
SITE ADDRESS	602 OLD GREENVILLE HIGHWAY CLEMSON, SC 29631

DESCRIPTION
The project consists of five (5) residential buildings with amenities and leasing office on the ground level of one of the residential buildings and a small stand alone maintenance building. The five residential buildings consist of a mix of 1bd, 2bd, and 3bd dwelling units. Each residential building is three (3) stories with unconditioned breezeways and are Type VA construction. The maintenance building is one (1) story of Type VB construction.
Site amenities include a small dog park, playground, and outdoor seating areas.

SITE INFORMATION	
SITE ZONING	RM-4
CITY OF CLEMSON, COUNTY OF PICKENS	
SITE AREA	11.57 ACRES
BUILDING AREA	207,026 SQ FT
PARKING REQUIRED	SEE CIVIL DRAWINGS FOR PARKING REQUIREMENTS
TOTAL PARKING SHOWN	SEE CIVIL DRAWINGS FOR PARKING REQUIREMENTS
HANDICAPPED PARKING REQUIRED	TBD TOTAL - TBD IN PUBLIC AREA

BUILDING CODES	
TITLE	EDITION
INTERNATIONAL BUILDING CODE	2021 Edition; with SC Modifications (2021)
INTERNATIONAL FIRE CODE	2021 Edition; with SC Modifications (2021)
INTERNATIONAL PLUMBING CODE	2021 Edition; with SC Modifications (2021)
INTERNATIONAL MECHANICAL CODE	2021 Edition; with SC Modifications (2021)
INTERNATIONAL FUEL GAS CODE	2021 Edition; with SC Modifications (2021)
NATIONAL ELECTRICAL CODE	2020 Edition; with SC Modifications
INTERNATIONAL ENERGY CONSERVATION CODE	2009 Edition; no Modifications
ACCESSIBLE DESIGN	ICC / ANSI A117.1 ADA STANDARDS FOR ACCESSIBLE DESIGN FAIR HOUSING ACT DESIGN MANUAL UNIFORM FEDERAL ACCESSIBILITY STANDARDS (UFAS) 2017 EDITION; NO AMENDMENTS 2010 EDITION; NO AMENDMENTS 1996 EDITION; WITH 1998 REVISIONS 1994 EDITION

USE AND OCCUPANCY CLASSIFICATION	REQUIREMENTS	SECTION
CONSTRUCTION TYPE	V-A	IBC 601
MAIN OCCUPANCY CLASSIFICATION	R-2, RESIDENTIAL	IBC 310.3
ACCESSORY CLASSIFICATIONS	A-3, ASSEMBLY B, BUSINESS	IBC 303.4 IBC 304.1

GENERAL BUILDING HEIGHTS AND AREAS	REQUIREMENTS	SECTION
	BASED ON MOST RESTRICTIVE OCCUPANCY TYPE, GROUP R-2	
ALLOWABLE HEIGHT (SPRINKLERED)	60'-0"	IBC 504.3
ACTUAL HEIGHT - BUILDING 1	38'-6"	
ACTUAL HEIGHT - BUILDING 2	38'-4"	
ACTUAL HEIGHT - BUILDING 3	38'-1"	
ACTUAL HEIGHT - BUILDING 4	37'-6"	
ACTUAL HEIGHT - BUILDING 5	38'-10"	
ALLOWABLE STORIES ABOVE GRADE	4 STORIES (R-2), 3 STORIES (A-3)	IBC 504.4
ACTUAL STORIES ABOVE GRADE	3	
ALLOWABLE AREA (R-2, TYPE V-A, SPRINKLERED 13R)	BUILDING 1: 18,000 SF BUILDING 2-5: 21,000 SF	IBC 506.2, 506.3
ACTUAL GROSS FLOOR AREA - BUILDING 1	35,679 SF GROSS	
ACTUAL NET FLOOR AREA - BUILDING 1	29,238 SF NET	
ACTUAL GROSS FLOOR AREA - BUILDING 2	38,364 SF GROSS	
ACTUAL NET FLOOR AREA - BUILDING 2	31,518 SF NET	
ACTUAL GROSS FLOOR AREA - BUILDING 3	SAME AS BUILDING 1	
ACTUAL NET FLOOR AREA - BUILDING 3	SAME AS BUILDING 1	
ACTUAL GROSS FLOOR AREA - BUILDING 4	55,971 SF GROSS	
ACTUAL NET FLOOR AREA - BUILDING 4	46,258 SF NET	
ACTUAL GROSS FLOOR AREA - BUILDING 5	36,366 SF GROSS	
ACTUAL NET FLOOR AREA - BUILDING 5	29,276 SF NET	

MEANS OF EGRESS	REQUIREMENTS	SECTION
USE / FUNCTION		
ASSEMBLY - LESS CONCENTRATED	15 NET	IBC 1004.5
RESIDENTIAL	200 GROSS	IBC 1004.5
UTILITY	0	IBC 1004.5
STORAGE	300 GROSS	IBC 1004.5
BUSINESS	150 GROSS	IBC 1004.5
KITCHEN	200 GROSS	IBC 1004.5
ACCESSORY STORAGE	500 GROSS	IBC 1004.5
EXERCISE ROOMS	50 GROSS	IBC 1004.5
MECHANICAL/ELECTRICAL	300 GROSS	IBC 1004.5
CORRIDOR CLEAR WIDTH	44"	IBC 1020.3
CORRIDOR CLEAR WIDTH WITHIN A DWELLING UNIT	36"	IBC 1020.3
DEAD END CORRIDORS	20" MAX	IBC 1020.5
TRAVEL DISTANCE LIMITATIONS	250' MAX, FULLY SPRINKLERED	IBC 1017.2
COMMON PATH OF TRAVEL	125' MAX, FULLY SPRINKLERED	IBC 1006.2.1
OCCUPANT LOAD	100 PER 70 SQ FT	IBC 1004.1.2
OCCUPANCY BY FUNCTION	SEE SHEET G003 FOR SCHEDULE	
EGRESS WIDTH, STAIR	44"	IBC 1011.2
EGRESS WIDTH, DOORS	288 x 2 = 57.6" TOTAL REQUIRED (32" MIN CLEAR PER OPENING) 3 DOORS AT 33", 2 DOORS AT 58" = 157" PROVIDED	IBC 1005.3.2

INTERIOR FINISHES	REQUIREMENTS	SECTION
CLASSIFICATION		
FLOOR COVERINGS	CLASS II	IBC 804.4.2
WALLS AND CEILINGS IN EXIT ENCLOSURES	SPRINKLERED, CLASS C	IBC 803.13
WALLS AND CEILINGS IN LOBBIES AND CORRIDORS	SPRINKLERED, CLASS C	IBC 803.13
WALLS AND CEILINGS IN OTHER SPACES	SPRINKLERED, CLASS C	IBC 803.13

FIRE RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS	REQUIREMENTS	SECTION
CONSTRUCTION TYPE	V-A	IBC 601
EXTERIOR BEARING WALLS	1-HOUR	IBC 601
EXTERIOR NON-BEARING WALLS	0-HOUR	IBC 601
INTERIOR BEARING WALLS	1-HOUR	IBC 601
INTERIOR NON-BEARING WALLS	0-HOUR	IBC 601
EXTERIOR COLUMNS	1-HOUR	IBC 601
INTERIOR COLUMNS	1-HOUR	IBC 601
BEAMS, GIRDERS, TRUSSES	1-HOUR	IBC 601
FLOORS	1-HOUR	IBC 601
ROOF	1-HOUR	IBC 601

SEPARATION REQUIREMENT: SEPARATED OCCUPANCY	REQUIREMENTS	SECTION
CORRIDORS	0-HOUR FIRE-RESISTANCE	IBC 508.3
EGRESS STAIRWAY ENCLOSURES	1-HOUR	IBC 713.4
ELEVATOR ENCLOSURES	N/A	IBC 713.14
PIPE SHAFTS AND DUCTS	1.5-HOUR	IBC 717.3.2.1
WELLS AND CHUTES	1-HOUR	IBC 713.13 - 713.13.6
WASTE AND LINEN COLLECTION ROOMS OVER 100 SQFT	1-HOUR OR PROVIDE SPRINKLER	IBC 509.1
BOILER ROOMS	N/A (1-HOUR OR PROVIDE SPRINKLER)	IBC 509.1
LAUNDRY ROOMS OVER 100 SQFT	1-HOUR OR PROVIDE SPRINKLER	IBC 509.1

FIRE PROTECTION SYSTEMS	REQUIREMENTS	SECTION
SPRINKLER SYSTEM	SPRINKLERED PER NFPA 13R	IBC 903.3.1.2
FIRE EXTINGUISHERS	ACCESSIBLE WITHIN 75'-0"	IBC 906.3
FIRE ALARM SYSTEM	NFPA 101	
FIRE COMMAND PANEL	NFPA 101	
EMERGENCY POWER	NEC 2017	CHAPTER 7
FIRE AND SMOKE DETECTORS	NFPA 101	
DIESEL FUEL DISPENSING	IFC 2012, NFPA 30, NFPA 30A	

MECHANICAL SYSTEM REQUIREMENTS	REQUIREMENTS	SPECIFIED	SECTION
CLIMATE ZONE	3A		IECC 301.1
ROOF INSULATION	R-20 CONT. INSULATION	R-20 CONT. INSULATION	IECC 502.2
ATTIC INSULATION	R-38	R-38	IECC 502.2
MASS WALLS	R7.6C1	R7.6C1	IECC 502.2
WOOD FRAMED WALLS	RR-13 + R-3.8 CI OR R-20	R-20	IECC 502.2
METAL FRAMED WALLS	R13 + R7.5 CONT. INSULATION	R13 + R7.5 CONT. INSULATION	IECC 502.2
WALLS BELOW GRADE	NO REQUIREMENT	N/A	IECC 502.2
MASS FLOORS	R-10 CONT. INSULATION	R-10 CONT. INSULATION	IECC 502.2
JOIST/FRAMING FLOORS	R-30	R10 + R11.25 = R21.25	IECC 502.2
SLAB ON GRADE (UNHEATED)	NO REQUIREMENT	N/A	IECC 502.2
OPAQUE DOORS	U-0.60	U-???	IECC 303.1.3
STOREFRONT DOORS	U-0.77	U-???	IECC 502.3
VERTICAL GLAZING	U-0.946	U-???	IECC 502.3
SOLAR HEAT GAIN COEFFICIENT	0.25	0.25	IECC 502.3

GROSS BUILDING AREA BUILDING 1 & 3	
HEATED	
LEVEL 1	9561 SF
LEVEL 2	9624 SF
LEVEL 3	9824 SF
	29208 SF
BREEZEWAY / CIRC	
LEVEL 1	1592 SF
LEVEL 2	1328 SF
LEVEL 3	1328 SF
	4249 SF
BALCONY	
LEVEL 1	741 SF
LEVEL 2	741 SF
LEVEL 3	741 SF
	2223 SF
TOTAL GROSS SF	35679 SF

GROSS BUILDING AREA BUILDING 2	
HEATED - OFFICE	
LEVEL 1	888 SF
	888 SF
HEATED - LOBBY	
LEVEL 1	356 SF
	356 SF
HEATED - LAUNDRY	
LEVEL 1	263 SF
	263 SF
HEATED - FITNESS	
LEVEL 1	266 SF
	266 SF
HEATED - COMPUTER	
LEVEL 1	177 SF
	177 SF
HEATED - CIRCULATION/BOH	
LEVEL 1	484 SF
	484 SF
HEATED	
LEVEL 1	6739 SF
LEVEL 2	10582 SF
LEVEL 3	10582 SF
	27904 SF
BREEZEWAY / CIRC - MAIL	
LEVEL 1	173 SF
	173 SF
BREEZEWAY / CIRC	
LEVEL 1	1746 SF
LEVEL 2	1466 SF
LEVEL 3	1466 SF
	4678 SF
BALCONY	
LEVEL 1	523 SF
LEVEL 2	735 SF
LEVEL 3	735 SF
	1994 SF
TOTAL GROSS SF	37174 SF

GROSS BUILDING AREA BUILDING 4	
HEATED	
LEVEL 1	15262 SF
LEVEL 2	15513 SF
LEVEL 3	15513 SF
	46288 SF
BREEZEWAY / CIRC	
LEVEL 1	2233 SF
LEVEL 2	1962 SF
LEVEL 3	1956 SF
	6151 SF
BALCONY	
LEVEL 1	1177 SF
LEVEL 2	1177 SF
LEVEL 3	1177 SF
	3532 SF
TOTAL GROSS SF	55971 SF

GROSS BUILDING AREA BUILDING 5	
HEATED	
LEVEL 1	10174 SF
LEVEL 2	10446 SF
LEVEL 3	10446 SF
	31067 SF
BREEZEWAY / CIRC	
LEVEL 1	1746 SF
LEVEL 2	1474 SF
LEVEL 3	1474 SF
	4694 SF
BALCONY	
LEVEL 1	758 SF
LEVEL 2	758 SF
LEVEL 3	758 SF
	2273 SF
TOTAL GROSS SF	38033 SF

TOTAL GROSS AREA (SF)					
	BUILDING 1	BUILDING 2	BUILDING 3	BUILDING 4	BUILDING 5
HEATED	29,208	31,518	29,208	46,288	31,067
BREEZEWAY/ CIRCULATION	4,249	4,852	4,249	6,151	4,694
BALCONY	2,223	1,994	2,223	3,532	2,273
TOTAL	35,680	38,364	35,680	55,971	38,034

OLD GREENVILLE HIGHWAY APARTMENTS

409 John Wesley Dobbs Ave.



Owner
Mercy Housing Southeast
260 Peachtree St. Suite 1800
Atlanta, GA 30303
404.931.9801

Architect
Goode Van Slyke Architecture, LLC.
409 John Wesley Dobbs Avenue
Atlanta, GA 30312
404.523.5525

Civil Engineer
Kimley-Horn
607 Pendleton Street, Suite 100
Greenville, SC 29601
864.501.5724

Structural Engineer
Shear Structural
3411 Pierce Drive, Suite 100
Chamblee, GA 30341
678.664.8051

Mechanical/Plumbing/Electrical
Fire Protection
PGE: Phillips Gradick Engineering
8215 Roswell Rd, Suite 925
Atlanta, GA
770.650.9061

COPYRIGHT © 2024 GYSA

Key Plan

seal/signature

not for construction

rev date description

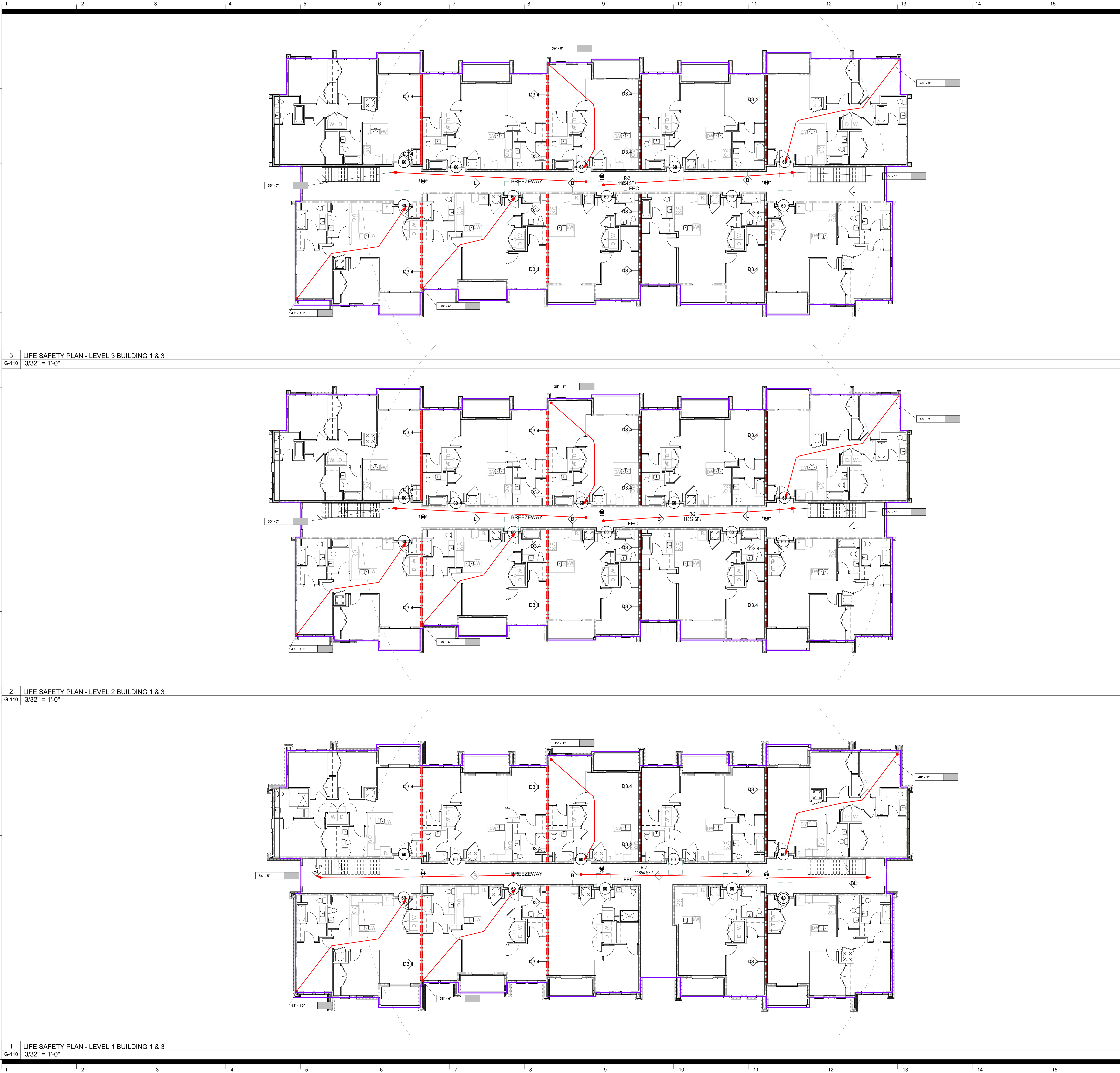
date 06/16/25
phase SCHEMATIC DESIGN
issued for REVIEW
project number 24029

CODE SUMMARY

sheet number

G-003

6/23/2025 1:58:41 PM



GENERAL NOTES - CODE PLAN

1. SEE SHEET G-003 FOR APPLICABLE CODES AND CODE REVIEW DATA.
2. SEE INSET ON THIS SHEET FOR TOTAL OCCUPANT LOAD PER ROOM.
3. TOTAL GROSS SQUARE FOOTAGE: SEE SCHEDULE BELOW
4. FIRE EXTINGUISHER TO BE ACCESSIBLE WITHIN 75'-0"

FIRE EQUIPMENT LEGEND

- FE FIRE EXTINGUISHER
- FEC FIRE EXTINGUISHER AND CABINET
- FEVC FIRE EXTINGUISHER / VALVE CABINET
- FVC FIRE DEPARTMENT / VALVE CABINET

RATED WALL LEGEND

- EXISTING PARTITION
- NON-RATED PARTITION
- NON-RATED SMOKE-RESISTIVE PARTITION
- 1 HOUR FIRE RATED PARTITION
- 2 HOUR FIRE RATED PARTITION
- 3 HOUR FIRE RATED PARTITION

LIFE SAFETY SYMBOLS

- PATH OF TRAVEL
- TRAVEL DISTANCE, DEAD END, COMMON PATH (T.D.) (D.E.) (C.P.)
- ALLOWABLE TRAVEL DISTANCE
- PATH TYPE ABBREVIATION
- ACTUAL TRAVEL DISTANCE
- INDICATION OF POINT OF CHOICE
- INDICATION OF POINT OF ORIGIN
- REQUIRED EXIT CAPACITY
- INDICATION OF HORIZONTAL EXIT CAPACITY (RECTANGLE IS DOOR / CORRIDOR / CIRCLE IS STAIR WIDTH)
- ACTUAL EXIT CAPACITY
- ILLUMINATED EXIT SIGN - SEE SHEET A601 FOR EXACT LOCATION. LIFE SAFETY SYMBOL INDICATES PRESENCE OF SIGN BUT NOT FINAL POSITION.
- INDICATES ILLUMINATED ARROW POINTING TOWARD EGRESS LOCATION
- INDICATES SIGN DIRECTION
- DOOR AND FRAME FIRE RATING (IN MINUTES)

BUILDING 1 & 3 - LIFE SAFETY		
LEVEL	AREA TYPE	AREA
LEVEL 1		
LEVEL 1	R-2	11854 SF
LEVEL 2		
LEVEL 2	R-2	11852 SF
LEVEL 3		
LEVEL 3	R-2	11854 SF
Grand total:	3	35559 SF

OLD GREENVILLE HIGHWAY APARTMENTS

409 John Wesley Dobbs Ave.



Owner

Mercy Housing Southeast
260 Peachtree St. Suite 1800
Atlanta, GA 30303
404.931.9801

Architect

Goode Van Slyke Architecture, LLC.
409 John Wesley Dobbs Avenue
Atlanta, GA 30312
404.523.5525

Civil Engineer

Kimley-Horn
607 Pendleton Street, Suite 100
Greenville, SC 29601
864.501.5724

Structural Engineer

Shear Structural
3411 Pierce Drive, Suite 100
Chamblee, GA 30341
678.664.8051

Mechanical/Plumbing/Electrical Fire Protection

PG&E: Phillips Gradick Engineering
8215 Roswell Rd, Suite 925
Atlanta, GA
770.650.9061

COPYRIGHT © 2024 GVS&A

Key Plan

seal/signature

not for construction

rev date description

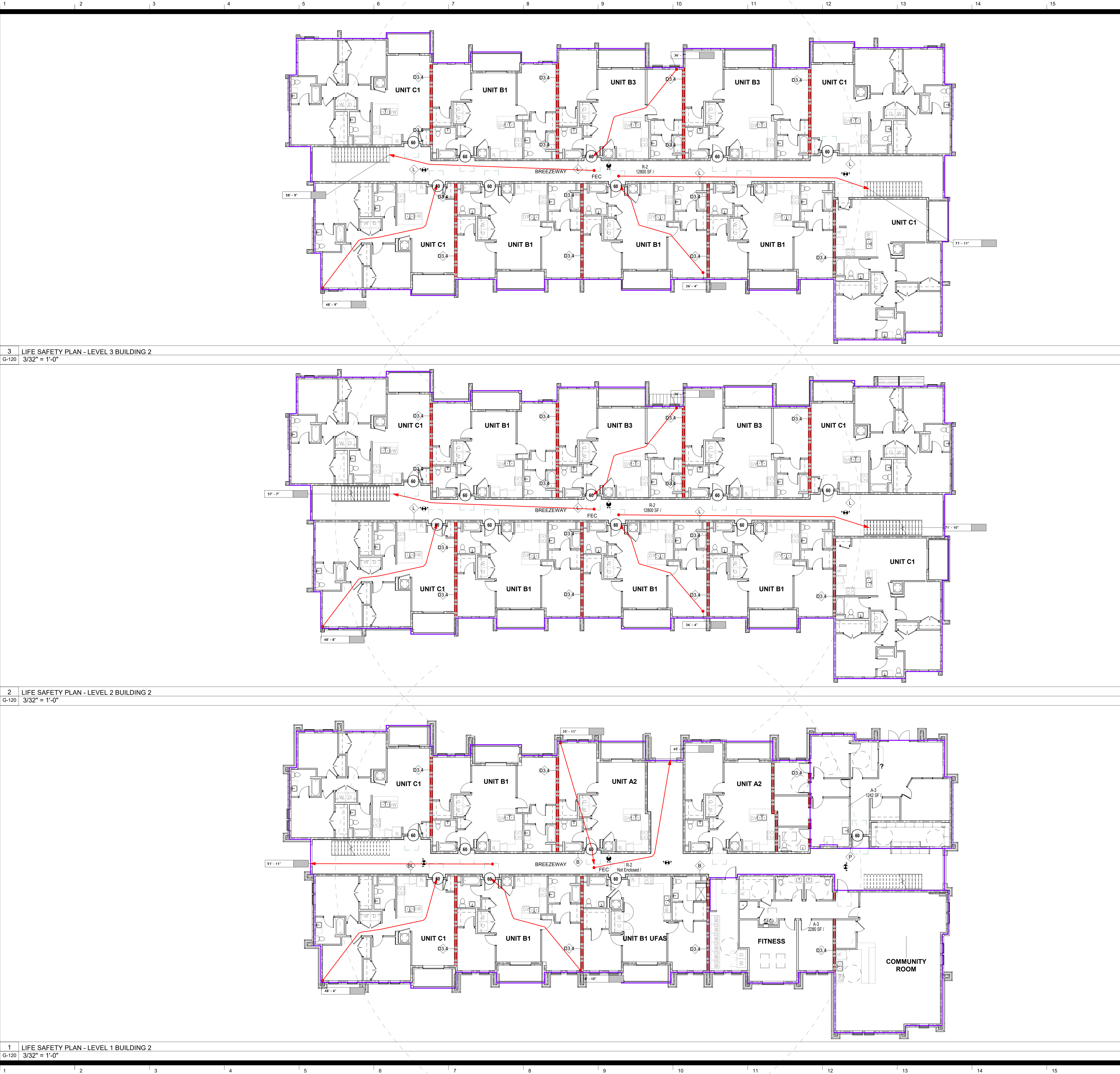
date 06/16/25
phase SCHEMATIC DESIGN
issued for
project number 24029

LIFE SAFETY PLANS - BUILDING 1 & 3

sheet number

G-110

6/18/2025 3:06:09 PM



1 LIFE SAFETY PLAN - LEVEL 1 BUILDING 2
G-120 3/32" = 1'-0"

2 LIFE SAFETY PLAN - LEVEL 2 BUILDING 2
G-120 3/32" = 1'-0"

3 LIFE SAFETY PLAN - LEVEL 3 BUILDING 2
G-120 3/32" = 1'-0"

GENERAL NOTES - CODE PLAN

1. SEE SHEET G-003 FOR APPLICABLE CODES AND CODE REVIEW DATA.
2. SEE INSET ON THIS SHEET FOR TOTAL OCCUPANT LOAD PER ROOM.
3. TOTAL GROSS SQUARE FOOTAGE: SEE SCHEDULE BELOW
4. FIRE EXTINGUISHER TO BE ACCESSIBLE WITHIN 75'-0"

FIRE EQUIPMENT LEGEND

- FE FIRE EXTINGUISHER
- FEC FIRE EXTINGUISHER AND CABINET
- FEVC FIRE EXTINGUISHER / VALVE CABINET
- FVC FIRE DEPARTMENT / VALVE CABINET

RATED WALL LEGEND

- EXISTING PARTITION
- NON-RATED PARTITION
- NON-RATED SMOKE-RESISTIVE PARTITION
- 1 HOUR FIRE RATED PARTITION
- 2 HOUR FIRE RATED PARTITION
- 3 HOUR FIRE RATED PARTITION

LIFE SAFETY SYMBOLS

- PATH OF TRAVEL
- TRAVEL DISTANCE, DEAD END, COMMON PATH (T.D.) (D.E.) (C.P.)
- ALLOWABLE TRAVEL DISTANCE
- PATH TYPE ABBREVIATION
- ACTUAL TRAVEL DISTANCE
- INDICATION OF POINT OF CHOICE
- INDICATION OF POINT OF ORIGIN
- REQUIRED EXIT CAPACITY
- INDICATION OF HORIZONTAL EXIT CAPACITY (RECTANGLE IS DOOR / CORRIDOR / CIRCLE IS STAIR WIDTH)
- ACTUAL EXIT CAPACITY
- ILLUMINATED EXIT SIGN - SEE SHEET A801 FOR EXACT LOCATION. LIFE SAFETY SYMBOL INDICATES PRESENCE OF SIGN BUT NOT FINAL POSITION.
- INDICATES ILLUMINATED ARROW POINTING TOWARD EGRESS LOCATION
- INDICATES SIGN DIRECTION
- DOOR AND FRAME FIRE RATING (IN MINUTES)

BUILDING 2 - LIFE SAFETY		
LEVEL	AREA TYPE	AREA
LEVEL 1		
LEVEL 1	A-3	3522 SF
LEVEL 1	R-2	0 SF
LEVEL 2		
LEVEL 2	R-2	12800 SF
LEVEL 3		
LEVEL 3	R-2	12800 SF
Grand total: 5		29122 SF

OLD GREENVILLE HIGHWAY APARTMENTS

409 John Wesley Dobbs Ave.



Owner
Mercy Housing Southeast
260 Peachtree St. Suite 1800
Atlanta, GA 30303
404.931.9801

Architect
Goode Van Slyke Architecture, LLC.
409 John Wesley Dobbs Avenue
Atlanta, GA 30312
404.523.5525

Civil Engineer
Kimley-Horn
607 Pendleton Street, Suite 100
Greenville, SC 29601
864.501.5724

Structural Engineer
Shear Structural
3411 Pierce Drive, Suite 100
Chamblee, GA 30341
678.664.8051

Mechanical/Plumbing/Electrical Fire Protection
PGE: Phillips Gradick Engineering
8215 Roswell Rd, Suite 925
Atlanta, GA
770.650.9061

COPYRIGHT © 2024 GYSA

Key Plan

seal/signature

not for construction

rev date description

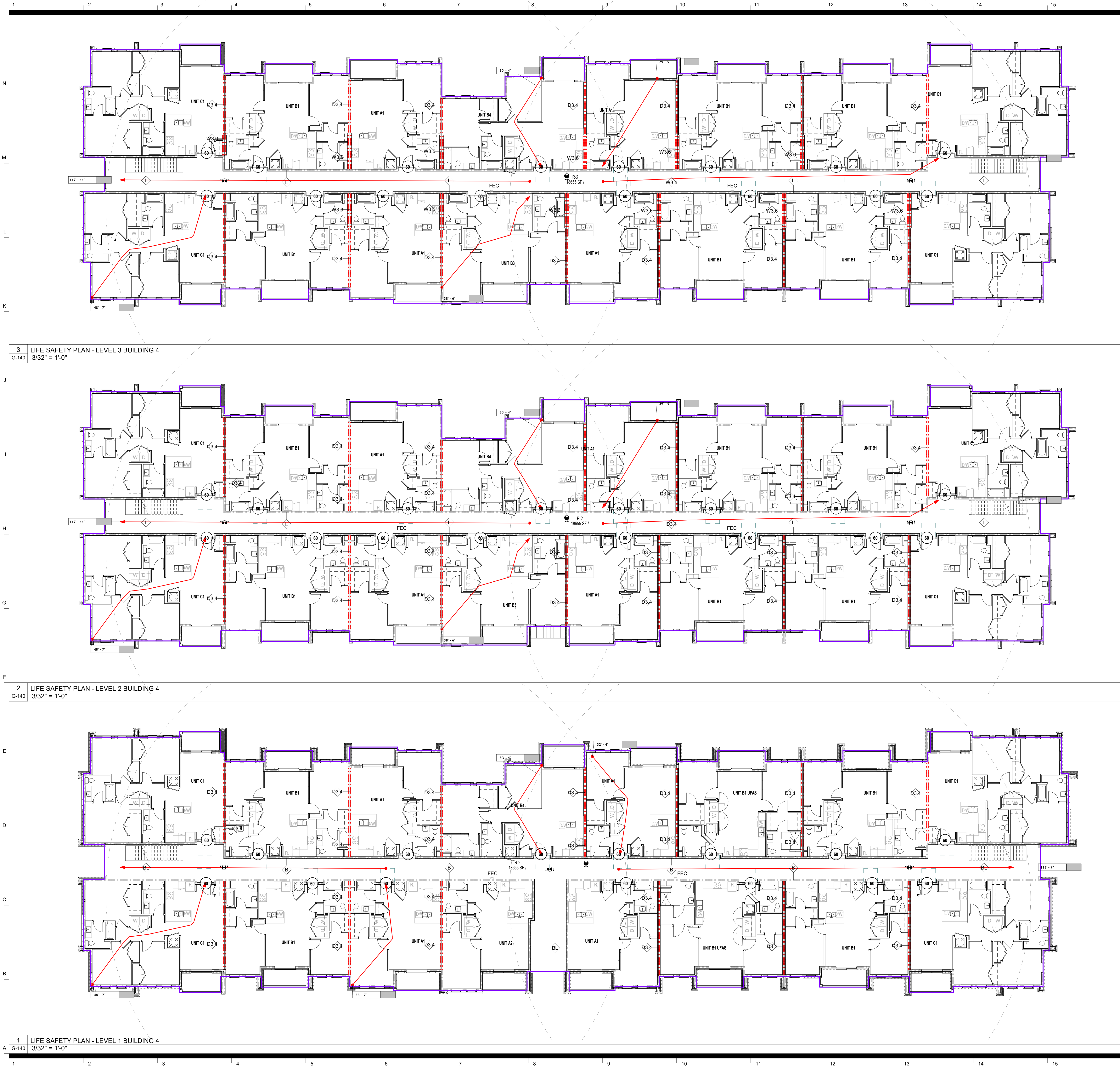
date 06/16/25
phase SCHEMATIC DESIGN
issued for
project number 24029

LIFE SAFETY PLANS - BUILDING 2

sheet number

G-120

6/18/2025 3:06:21 PM



GENERAL NOTES - CODE PLAN

1. SEE SHEET G-003 FOR APPLICABLE CODES AND CODE REVIEW DATA.
2. SEE INSET ON THIS SHEET FOR TOTAL OCCUPANT LOAD PER ROOM.
3. TOTAL GROSS SQUARE FOOTAGE: SEE SCHEDULE BELOW
4. FIRE EXTINGUISHER TO BE ACCESSIBLE WITHIN 75'-0"

FIRE EQUIPMENT LEGEND

- FIRE EXTINGUISHER
- FIRE EXTINGUISHER AND CABINET
- FIRE EXTINGUISHER / VALVE CABINET
- FIRE DEPARTMENT / VALVE CABINET

RATED WALL LEGEND

- EXISTING PARTITION
- NON-RATED PARTITION
- NON-RATED SMOKE-RESISTIVE PARTITION
- 1 HOUR FIRE RATED PARTITION
- 2 HOUR FIRE RATED PARTITION
- 3 HOUR FIRE RATED PARTITION

LIFE SAFETY SYMBOLS

- PATH OF TRAVEL
- TRAVEL DISTANCE, DEAD END, COMMON PATH (T.D.) (D.E.) (C.P.)
- ALLOWABLE TRAVEL DISTANCE
- PATH TYPE ABBREVIATION
- ACTUAL TRAVEL DISTANCE
- INDICATION OF POINT OF CHOICE
- INDICATION OF POINT OF ORIGIN
- REQUIRED EXIT CAPACITY
- INDICATION OF HORIZONTAL EXIT CAPACITY (RECTANGLE IS DOOR / CORRIDOR / CIRCLE IS STAIR WIDTH)
- ACTUAL EXIT CAPACITY
- ILLUMINATED EXIT SIGN - SEE SHEET A601 FOR EXACT LOCATION. LIFE SAFETY SYMBOL INDICATES PRESENCE OF SIGN BUT NOT FINAL POSITION.
- INDICATES ILLUMINATED ARROW POINTING TOWARD EGRESS LOCATION
- INDICATES SIGN DIRECTION
- DOOR AND FRAME FIRE RATING (IN MINUTES)

BUILDING 4 - LIFE SAFETY		
LEVEL	AREA TYPE	AREA
LEVEL 1		
LEVEL 1	R-2	18655 SF
LEVEL 2		
LEVEL 2	R-2	18655 SF
LEVEL 3		
LEVEL 3	R-2	18655 SF
Grand total:	3	55964 SF

OLD GREENVILLE HIGHWAY APARTMENTS

409 John Wesley Dobbs Ave.

Goode Van Slyke Architecture

Owner
Mercy Housing Southeast
260 Peachtree St. Suite 1800
Atlanta, GA 30303
404.931.9801

Architect
Goode Van Slyke Architecture, LLC.
409 John Wesley Dobbs Avenue
Atlanta, GA 30312
404.523.5525

Civil Engineer
Kimley-Horn
607 Pendleton Street, Suite 100
Greenville, SC 29601
864.501.5724

Structural Engineer
Shear Structural
3411 Pierce Drive, Suite 100
Chamblee, GA 30341
678.664.8051

Mechanical/Plumbing/Electrical Fire Protection
PGE: Phillips Gradick Engineering
8215 Roswell Rd, Suite 925
Atlanta, GA
770.650.9061

COPYRIGHT © 2024 GVS/A

Key Plan

seal/signature

not for construction

rev date description

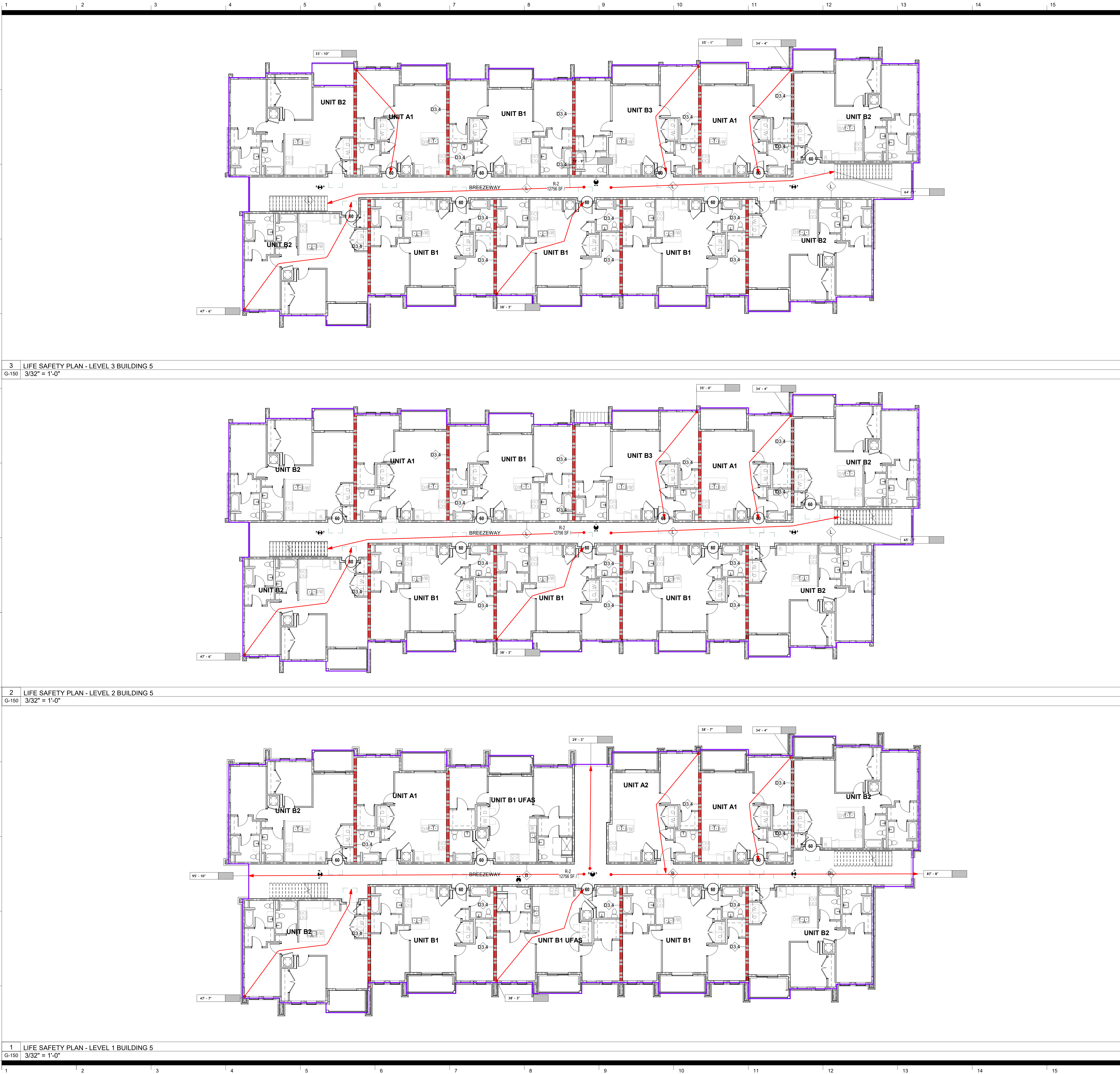
date 06/16/25
phase SCHEMATIC DESIGN
issued for
project number 24029

LIFE SAFETY PLANS - BUILDING 4

sheet number

G-140

6/18/2025 3:06:31 PM



GENERAL NOTES - CODE PLAN

1. SEE SHEET G-003 FOR APPLICABLE CODES AND CODE REVIEW DATA.
2. SEE INSET ON THIS SHEET FOR TOTAL OCCUPANT LOAD PER ROOM.
3. TOTAL GROSS SQUARE FOOTAGE: SEE SCHEDULE BELOW
4. FIRE EXTINGUISHER TO BE ACCESSIBLE WITHIN 75'-0"

FIRE EQUIPMENT LEGEND

- FE FIRE EXTINGUISHER
- FE/C FIRE EXTINGUISHER AND CABINET
- FEVC FIRE EXTINGUISHER / VALVE CABINET
- FVC FIRE DEPARTMENT / VALVE CABINET

RATED WALL LEGEND

- EXISTING PARTITION
- NON-RATED PARTITION
- NON-RATED SMOKE-RESISTIVE PARTITION
- 1 HOUR FIRE RATED PARTITION
- 2 HOUR FIRE RATED PARTITION
- 3 HOUR FIRE RATED PARTITION

LIFE SAFETY SYMBOLS

- PATH OF TRAVEL
- TRAVEL DISTANCE, DEAD END, COMMON PATH (T.D.) (D.E.) (C.P.)
- ALLOWABLE TRAVEL DISTANCE
- PATH TYPE ABBREVIATION
- ACTUAL TRAVEL DISTANCE
- INDICATION OF POINT OF CHOICE
- INDICATION OF POINT OF ORIGIN
- REQUIRED EXIT CAPACITY
- INDICATION OF HORIZONTAL EXIT CAPACITY (RECTANGLE IS DOOR / CORRIDOR / CIRCLE IS STAIR WIDTH)
- ACTUAL EXIT CAPACITY
- ILLUMINATED EXIT SIGN - SEE SHEET A001 FOR EXACT LOCATION. LIFE SAFETY SYMBOL INDICATES PRESENCE OF SIGN BUT NOT FINAL POSITION.
- INDICATES ILLUMINATED ARROW POINTING TOWARD EGRESS LOCATION
- INDICATES SIGN DIRECTION
- DOOR AND FRAME FIRE RATING (IN MINUTES)

BUILDING 5 - LIFE SAFETY		
LEVEL	AREA TYPE	AREA
LEVEL 1		
LEVEL 1	R-2	12756 SF
LEVEL 2		
LEVEL 2	R-2	12756 SF
LEVEL 3		
LEVEL 3	R-2	12756 SF
Grand total:	3	38268 SF

OLD GREENVILLE HIGHWAY APARTMENTS

409 John Wesley Dobbs Ave.



Owner

Mercy Housing Southeast
260 Peachtree St. Suite 1800
Atlanta, GA 30303
404.931.9801

Architect

Goode Van Slyke Architecture, LLC.
409 John Wesley Dobbs Avenue
Atlanta, GA 30312
404.523.5525

Civil Engineer

Kimley-Horn
607 Pendleton Street, Suite 100
Greenville, SC 29601
864.501.5724

Structural Engineer

Shear Structural
3411 Pierce Drive, Suite 100
Chamblee, GA 30341
678.664.8051

Mechanical/Plumbing/Electrical Fire Protection

PG&E: Phillips Gradick Engineering
8215 Roswell Rd, Suite 925
Atlanta, GA
770.650.9061

COPYRIGHT © 2024 GYSA

Key Plan

seal/signature

not for construction

rev date description

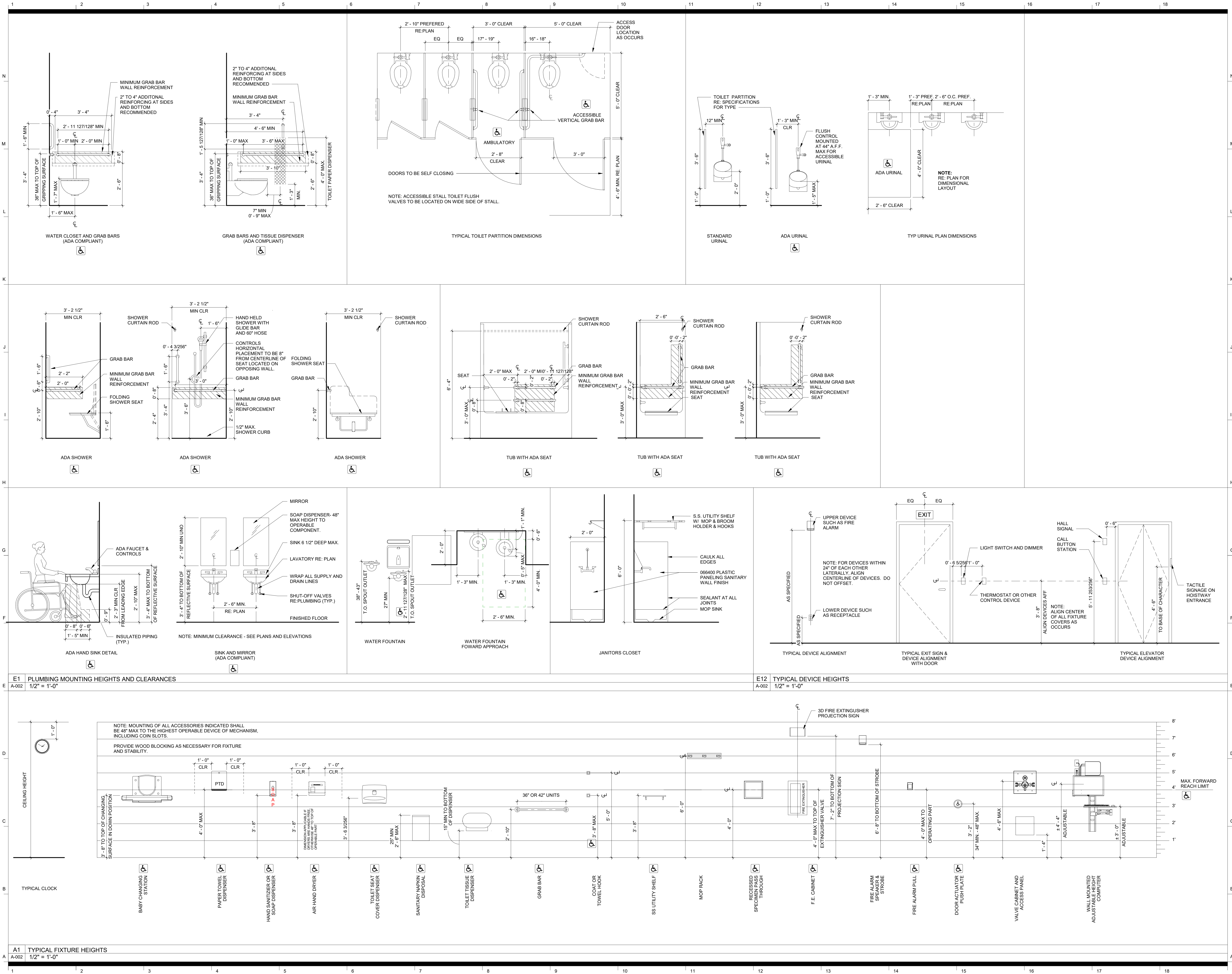
date 06/16/25
phase SCHEMATIC DESIGN
issued for
project number 24029

LIFE SAFETY PLANS - BUILDING 5

sheet number

G-150

6/18/2025 3:06:32 PM



OLD GREENVILLE HIGHWAY APARTMENTS

409 John Wesley Dobbs Ave.



Owner
Mercy Housing Southeast
260 Peachtree St. Suite 1800
Atlanta, GA 30303
404.931.9801

Architect
Goode Van Slyke Architecture, LLC.
409 John Wesley Dobbs Avenue
Atlanta, GA 30312
404.523.5525

Civil Engineer
Kimley-Horn
607 Pendleton Street, Suite 100
Greenville, SC 29601
864.501.5724

Structural Engineer
Shear Structural
3411 Pierce Drive, Suite 100
Chamblee, GA 30341
678.664.8051

Mechanical/Plumbing/Electrical Fire Protection
PGE: Phillips Gradick Engineering
8215 Roswell Rd, Suite 925
Atlanta, GA
770.650.9061

COPYRIGHT © 2024 GYSA

Key Plan

seal/signature

not for construction

rev date description

date 06/16/25
phase SCHEMATIC DESIGN
issued for REVIEW
project number 24029

ACCESSIBILITY GUIDELINES AND MOUNTING HEIGHTS

sheet number

A-002

6/20/2025 12:29:20 PM

OLD
GREENVILLE
HIGHWAY
APARTMENTS

409 John Wesley
Dobbs Ave.



Owner
Mercy Housing Southeast
260 Peachtree St. Suite 1800
Atlanta, GA 30303
404.931.9801

Architect
Goode Van Slyke Architecture, LLC.
409 John Wesley Dobbs Avenue
Atlanta, GA 30312
404.523.5525

Civil Engineer
Kimley-Horn
607 Pendleton Street, Suite 100
Greenville, SC 29601
864.501.5724

Structural Engineer
Shear Structural
3411 Pierce Drive, Suite 100
Chamblee, GA 30341
678.664.8051

**Mechanical/Plumbing/Electrical
Fire Protection**
PGE: Phillips Gradick Engineering
8215 Roswell Rd, Suite 925
Atlanta, GA
770.650.9061

COPYRIGHT © 2024 GYSA

Key Plan

seal/signature

not for construction

rev date description

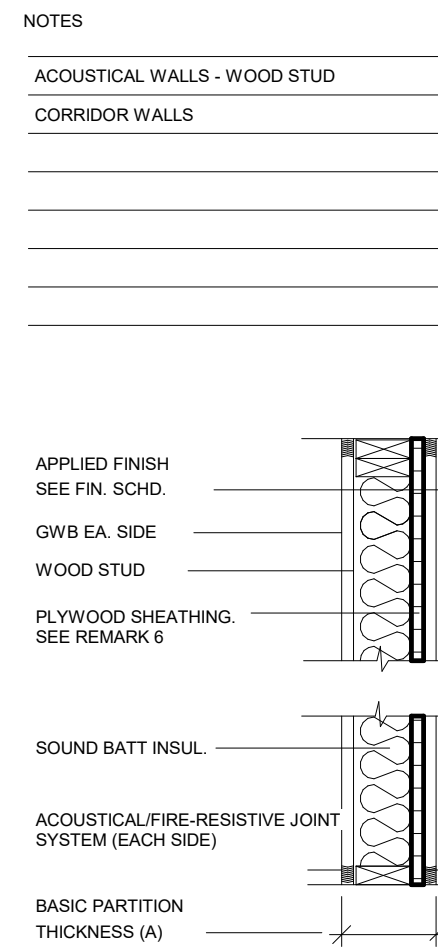
date 06/16/25
phase SCHEMATIC DESIGN
issued for
project number 24029

PARTITION SCHEDULE AND
TYPES

sheet number

A-004

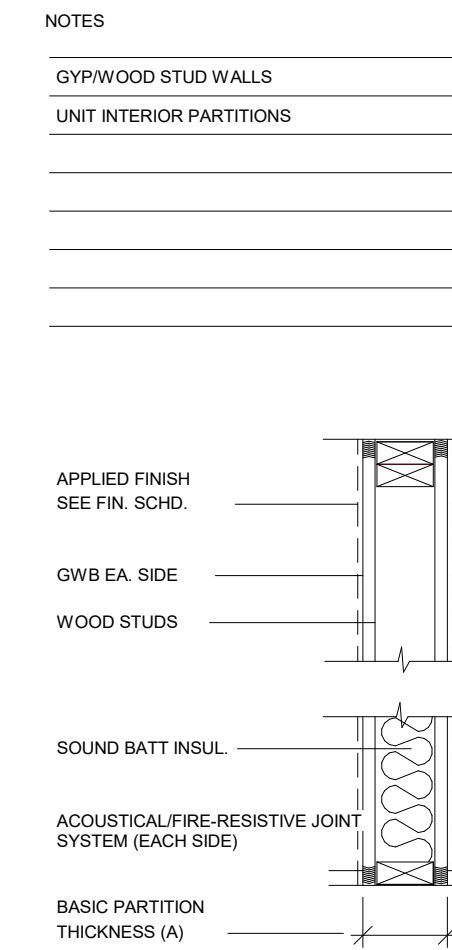
PARTITION
SYSTEM A



NOTES			
ACOUSTICAL WALLS - WOOD STUD			
CORRIDOR WALLS			
APPLIED FINISH SEE FIN. SCHED.			
GWB EA. SIDE			
WOOD STUD			
PLYWOOD SHEATHING SEE REMARK 5			
SOUND BATT INSUL.			
ACOUSTICAL/FIRE-RESISTIVE JOINT SYSTEM (EACH SIDE)			
BASIC PARTITION THICKNESS (A)			

PARTITION IDENTIFICATION			
PLAN SYMBOL			
BASIC PARTITION THICKNESS			
STUD SIZE			
GWB THICKNESS (ON EACH SIDE)			
RESILIENT CHANNEL (ONE SIDE)			
FIRE RATING (HRS)			
FIRE TEST NUMBER (UL)			
RESILIENT ISOLATION CLIPS			
ACOUSTICAL RATING (STC)			
ACOUSTICAL TEST NUMBER			
FIRE-RESISTIVE JOINTS			
SOUND BATT INSULATION			
STUDS TO STRUCTURE ABOVE			
REMARKS			

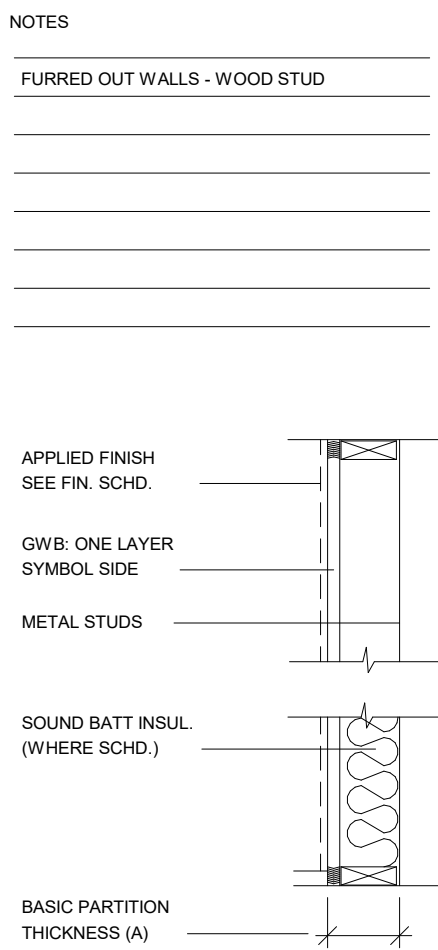
PARTITION
SYSTEM G



NOTES				
GYPSUM WOOD STUD WALLS				
UNIT INTERIOR PARTITIONS				
APPLIED FINISH SEE FIN. SCHED.				
GWB EA. SIDE				
WOOD STUDS				
SOUND BATT INSUL.				
ACOUSTICAL/FIRE-RESISTIVE JOINT SYSTEM (EACH SIDE)				
BASIC PARTITION THICKNESS (A)				

PARTITION IDENTIFICATION				
PLAN SYMBOL				
BASIC PARTITION THICKNESS				
STUD SIZE				
GWB THICKNESS (EACH SIDE)				
RESILIENT CHANNEL (ONE SIDE)				
FIRE RATING (HRS)				
FIRE TEST NUMBER (UL)				
RESILIENT ISOLATION CLIPS				
ACOUSTICAL RATING (STC)				
ACOUSTICAL TEST NUMBER				
FIRE-RESISTIVE JOINTS				
STUDS TO STRUCTURE ABOVE				
REMARKS				

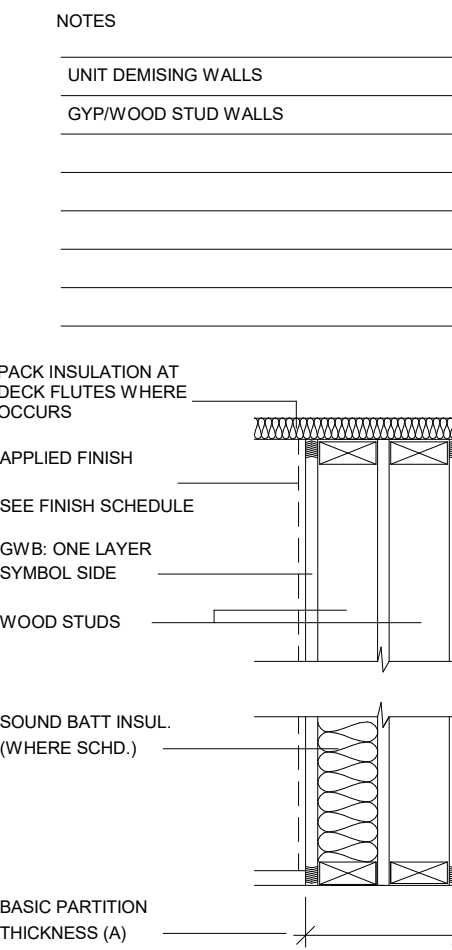
PARTITION
SYSTEM F



NOTES			
FURRED OUT WALLS - WOOD STUD			
APPLIED FINISH SEE FIN. SCHED.			
GWB ONE LAYER SYMBOL SIDE			
METAL STUDS			
SOUND BATT INSUL. (WHERE SCHED.)			
BASIC PARTITION THICKNESS (A)			

PARTITION IDENTIFICATION			
PLAN SYMBOL			
BASIC PARTITION THICKNESS			
STUD / HAT CHANNEL SIZE			
GWB THICKNESS			
TILE BACKERBOARD THICKNESS			
FIRE RATING (HRS)			
FIRE TEST NUMBER (UL)			
ACOUSTICAL RATING (STC)			
ACOUSTICAL TEST NUMBER			
FIRE-RESISTIVE JOINTS			
STUDS TO STRUCTURE ABOVE			
REMARKS			

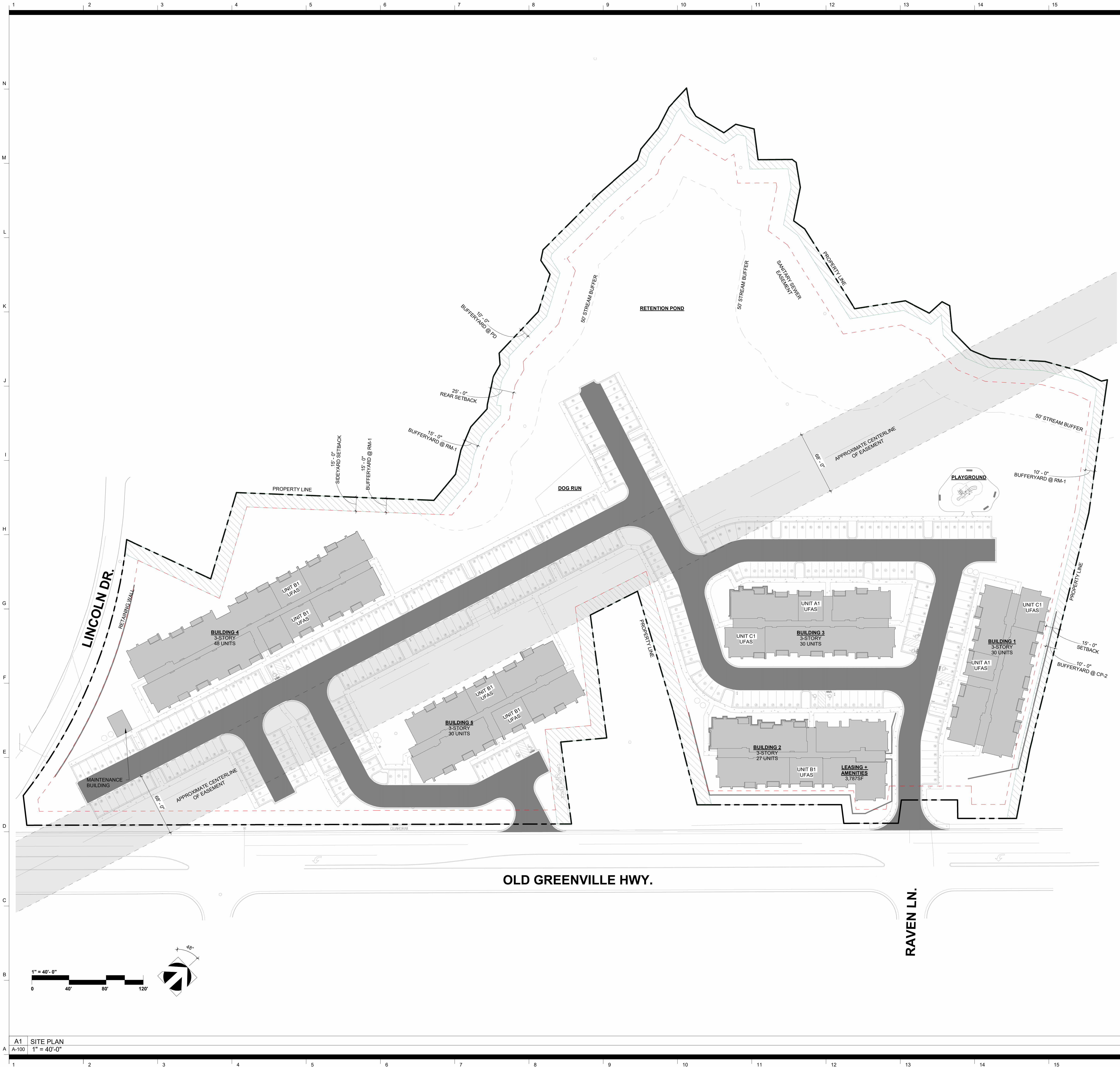
PARTITION
SYSTEM D



NOTES				
UNIT DIMENSION WALLS				
GYPSUM WOOD STUD WALLS				
APPLIED FINISH SEE FIN. SCHEDULE				
GWB ONE LAYER SYMBOL SIDE				
WOOD STUDS				
SOUND BATT INSUL. (WHERE SCHED.)				
BASIC PARTITION THICKNESS (A)				

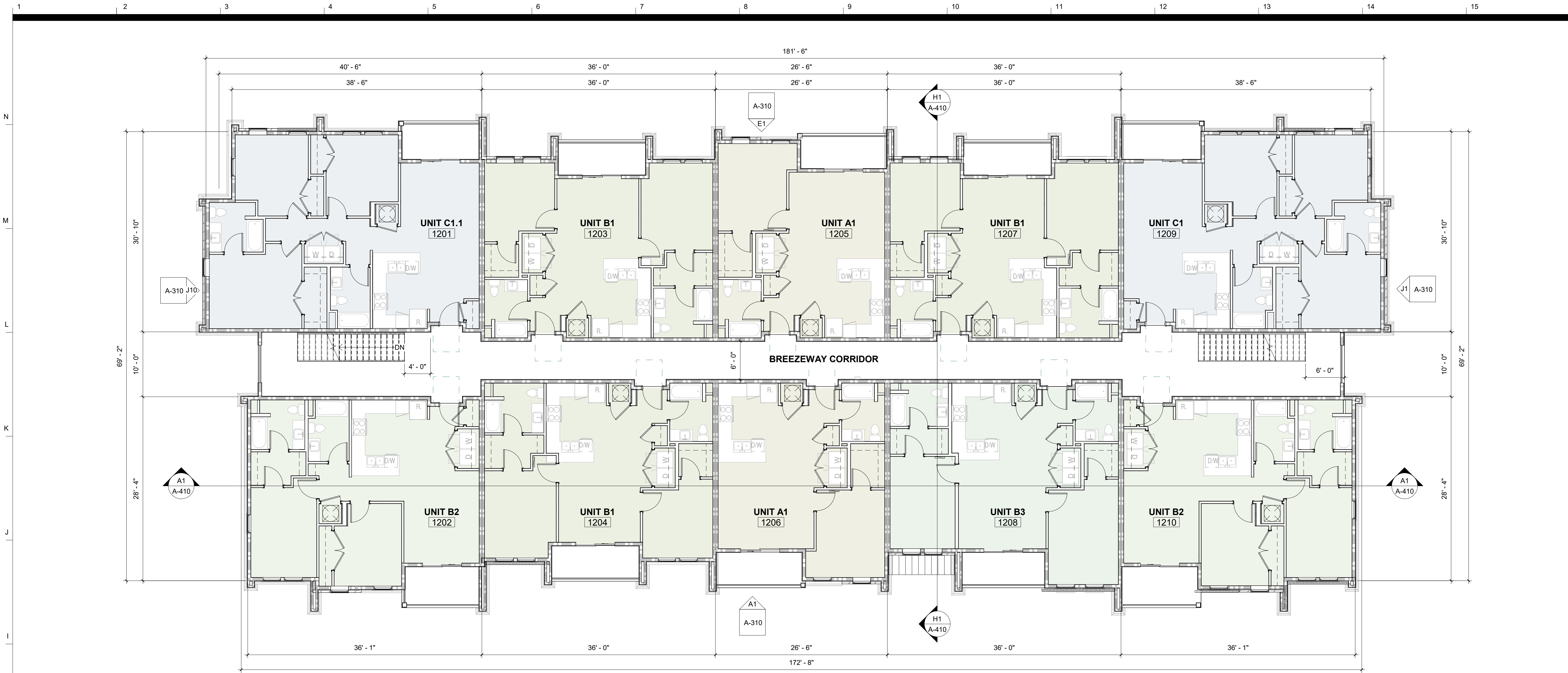
PARTITION IDENTIFICATION				
PLAN SYMBOL				
BASIC PARTITION THICKNESS				
STUD SIZE				
GWB THICKNESS				
FIRE RATING (HRS)				
FIRE TEST NUMBER (UL)				
ACOUSTICAL RATING (STC)				
ACOUSTICAL TEST NUMBER				
FIRE-RESISTIVE JOINTS				
SOUND BATT INSULATION				
STUDS TO STRUCTURE ABOVE				
REMARKS				

6/20/2025 4:51:21 PM

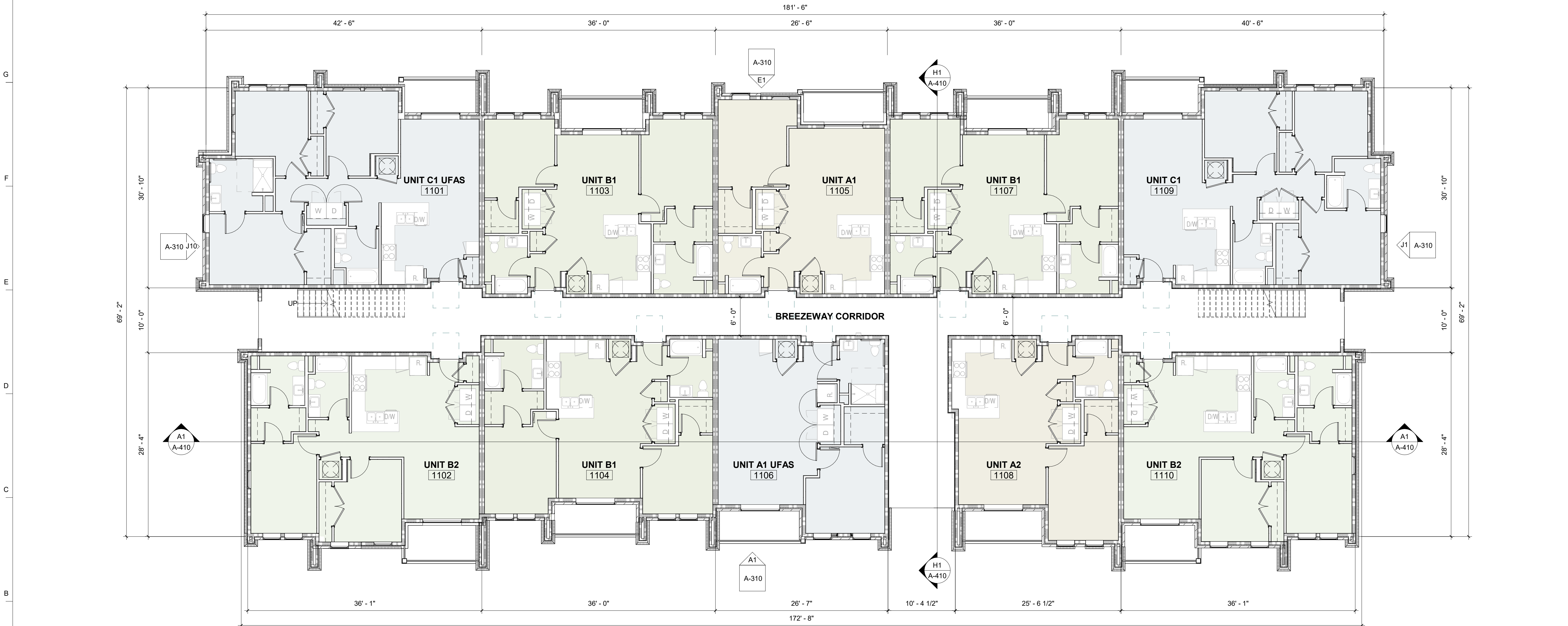


SITE PLAN GENERAL NOTES		
1.	SEE CIVIL DRAWINGS AND SPECIFICATIONS FOR ADDITIONAL SITE ENGINEERING INFORMATION INCLUDING BUT NOT LIMITED TO: SITE DRAINAGE CONCEPTUAL DESIGN INTENT, ETC.	
2.	SEE LANDSCAPE PLANS AND PLANT MATERIAL SPECIFICATIONS.	
SITE PLAN CODED NOTES		
(01)	TBD	
(02)		
(03)		
(04)		
(05)		
(06)		
(07)		
(08)		
(09)		
(10)		
(11)		
(12)		
(13)		
(14)		
(15)		
(16)		
(17)		
(18)		
(19)		
COPYRIGHT © 2024 GYSA		
Key Plan		
seal/signature		
not for construction		
rev	date	description
date 06/16/25		
phase SCHEMATIC DESIGN		
issued for		
project number 24029		
ARCHITECTURAL SITE PLAN		
sheet number		
A-100		
A1	SITE PLAN	
A-100	1" = 40'-0"	

6/18/2025 3:06:44 PM



H1 LEVEL 2 - BUILDING 1 & 3
A-110 1/8" = 1'-0"



A1 LEVEL 1 - BUILDING 1 & 3
A-110 1/8" = 1'-0"

FLOOR PLAN GENERAL NOTES

- DO NOT SCALE DRAWINGS.
- THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION OF ALL CONDITIONS BEFORE PROCEEDING WITH ANY WORK. ALL DISCREPANCIES BETWEEN FIELD CONDITIONS AND DRAWINGS SHALL BE REPORTED TO ARCHITECT PRIOR TO PROCEEDING WITH WORK.
- SEE FLOOR PLANS & LIFE SAFETY PLANS FOR LOCATIONS OF FIRE RATED WALLS.
- ALL INTERIOR DIMENSIONS ARE TO FACE OF WALL (UNLESS NOTED OTHERWISE). ALL EXTERIOR DIMENSIONS ARE TO EXTERIOR FACE OF METAL STUD OR STRUCTURAL CMU (UNLESS NOTED OTHERWISE).
- SEE STRUCTURAL DRAWINGS FOR LOCATIONS OF ALL STEEL REINFORCING IN WALL & FLOOR CONSTRUCTION.
- SEE FINISH PLANS AND SPECIFICATIONS FOR ADDITIONAL INFORMATION OF LOCATIONS AND TYPES OF FINISH MATERIALS.
- SEE ELEVATIONS AND STRUCTURAL DRAWINGS FOR LOCATIONS OF EXPANSION & CONTROL JOINTS. CONTRACTOR SHALL PROVIDE ADDITIONAL INTERIOR CONTROL JOINTS AS REQUIRED TO COMPLY WITH MAXIMUM SPACING REQUIREMENTS IN SPECIFICATIONS AND NATIONAL MASONRY INSTITUTE.
- SEE ELECTRICAL & AV DRAWINGS FOR DATA & POWER OUTLETS. REFER TO MECHANICAL, ELECTRICAL AND PLUMBING DOCUMENTS FOR LOCATIONS OF ALL REQUIRED WALL AND CEILING ACCESS PANELS WHICH ARE NOT SHOWN ON THE ARCHITECTURAL DOCUMENTS.
- MECHANICAL & ELECTRICAL EQUIPMENT SHALL BE ON HOUSEKEEPING PADS. PADS ARE TO BE PROVIDED BY THE TRADE SUPPLYING THE EQUIPMENT. SEE MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION. WORK TO BE COORDINATED THROUGH THE GENERAL TRADES CONTRACTOR, PADS 4" MIN. 4" THICK W/W W.F., UNLESS NOTED OTHERWISE).
- ALL MOVEABLE FURNITURE AND EQUIPMENT TO BE SUPPLIED BY OWNER.
- PROVIDE BLOCKING IN WALLS TO SECURE ALL EQUIPMENT, ACCESSORIES, CASEWORK, MILLWORK, HANDRAILS, GRAB BARS, ETC AT ALL LOCATIONS COORDINATE LOCATION OF STUDS IN BATHROOM AND OTHER CHASE WALLS WITH LOCATION OF MECHANICAL/PLUMBING EQUIPMENT TO ENSURE ADEQUATE CLEAR SPACE IS PROVIDED FOR DUCTWORK/PLUMBING.
- REFER TO ARCHITECTURAL DOOR CLEARANCES SHEET FOR REQUIREMENTS.
- LOCATE INSIDE EDGE OF DOOR FRAMES 4" FROM THE INTERSECTION OF ADJACENT WALL, TYP UNO.
- SEE DOOR SCHEDULE FOR TRANSOMS, SIDELIGHTS, BORROWED LIGHTS AND WINDOWS WHEN THE WINDOW FRAME IS PART OF THE DOOR FRAME.
- SPOT GRADES ARE SHOWN RELATIVE TO INTERIOR FINISHED FLOOR ELEVATION.

FLOOR PLAN LEGEND

AC ACCESS CONTROL DOOR. COORDINATE WITH ELECTRICAL.

PP PUSH PLATE FOR AUTOMATIC DOOR. SEE ELEC DWGS & DOOR SCHEDULE

CR CARD READER; SEE ELECTRICAL DWGS

HO HOLD OPEN DOORS; SEE ELECTRICAL DWGS

NAME

ROOM #

XXX SF ← ROOM SF IS FINISH TO FINISH (NET SF)

FLOOR PLAN CODED NOTES

01 TBD

02 TBD

03 TBD

04 TBD

05 TBD

06 TBD

07 TBD

08 TBD

09 TBD

GROSS AREA SCHEDULE

GROSS BUILDING AREA BUILDING 1 & 3

HEATED	
LEVEL 1	9561 SF
LEVEL 2	9824 SF
LEVEL 3	9824 SF
	29208 SF

BREEZEWAY / CIRC

LEVEL 1	1592 SF
LEVEL 2	1328 SF
LEVEL 3	1328 SF
	4249 SF

BALCONY

LEVEL 1	741 SF
LEVEL 2	741 SF
LEVEL 3	741 SF
	2223 SF

TOTAL GROSS SF 35679 SF

OLD GREENVILLE HIGHWAY APARTMENTS

409 John Wesley
Dobbs Ave.

**Goode
Van Slyke
Architecture**

Owner

Mercy Housing Southeast
260 Peachtree St. Suite 1800
Atlanta, GA 30303
404.931.9801

Architect

Goode Van Slyke Architecture, LLC.
409 John Wesley Dobbs Avenue
Atlanta, GA 30312
404.523.5525

Civil Engineer

Kimley-Horn
607 Pendleton Street, Suite 100
Greenville, SC 29601
864.501.5724

Structural Engineer

Shear Structural
3411 Pierce Drive, Suite 100
Chamblee, GA 30341
678.664.8051

Mechanical/Plumbing/Electrical Fire Protection

PG&E: Phillips Gradick Engineering
8215 Roswell Rd, Suite 925
Atlanta, GA
770.650.9061

COPYRIGHT © 2024 GYSA

Key Plan

seal/signature

rev date description

date

06/16/25

phase

SCHEMATIC DESIGN

issued for

REVIEW

project number

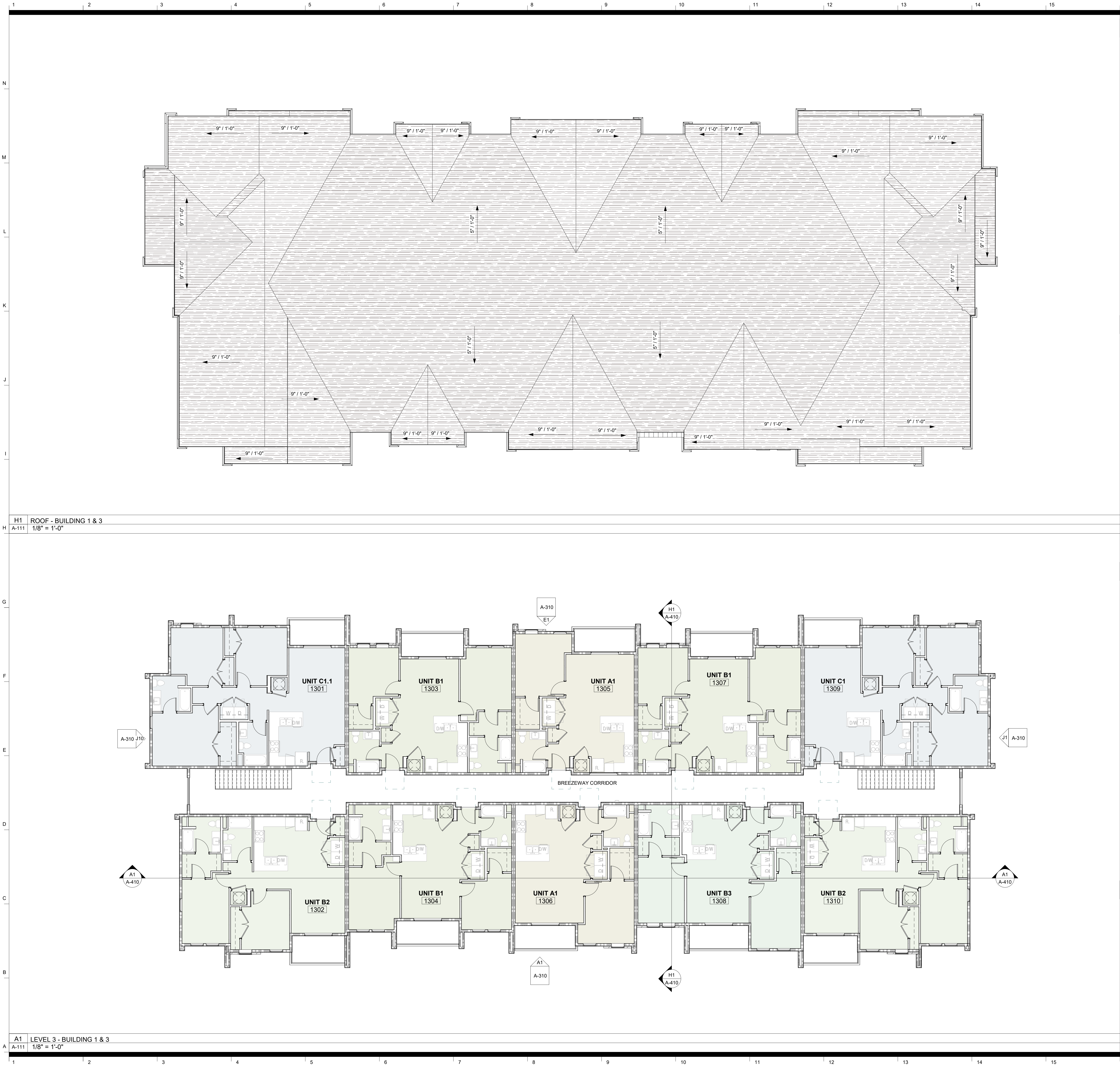
24029

FLOOR PLAN - BUILDING 1 & 3
- LEVEL 1 & LEVEL 2

sheet number

A-110

6/18/2025 3:06:48 PM



FLOOR PLAN GENERAL NOTES

1.

DO NOT SCALE DRAWINGS.

2.

THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION OF ALL CONDITIONS BEFORE PROCEEDING WITH ANY WORK. ALL DISCREPANCIES BETWEEN FIELD CONDITIONS AND DRAWINGS SHALL BE REPORTED TO ARCHITECT PRIOR TO PROCEEDING WITH WORK.

3.

SEE FLOOR PLANS & LIFE SAFETY PLANS FOR LOCATIONS OF FIRE RATED WALLS.

4.

ALL INTERIOR DIMENSIONS ARE TO FACE OF WALL (UNLESS NOTED OTHERWISE). ALL EXTERIOR DIMENSIONS ARE TO EXTERIOR FACE OF METAL STUD OR STRUCTURAL CMU (UNLESS NOTED OTHERWISE).

5.

SEE STRUCTURAL DRAWINGS FOR LOCATIONS OF ALL STEEL REINFORCING IN WALL & FLOOR CONSTRUCTION.

6.

SEE FINISH PLANS AND SPECIFICATIONS FOR ADDITIONAL INFORMATION OF LOCATIONS AND TYPES OF FINISH MATERIALS.

7.

SEE ELEVATIONS AND STRUCTURAL DRAWINGS FOR LOCATIONS OF EXPANSION & CONTROL JOINTS. CONTRACTOR SHALL PROVIDE ADDITIONAL INTERIOR CONTROL JOINTS AS REQUIRED TO COMPLY WITH MAXIMUM SPACING REQUIREMENTS IN SPECIFICATIONS AND NATIONAL MASONRY INSTITUTE.

8.

SEE ELECTRICAL & AV DRAWINGS FOR DATA & POWER OUTLETS.

9.

REFER TO MECHANICAL, ELECTRICAL AND PLUMBING DOCUMENTS FOR LOCATIONS OF ALL REQUIRED WALL AND CEILING ACCESS PANELS WHICH ARE NOT SHOWN ON THE ARCHITECTURAL DOCUMENTS.

10.

MECHANICAL & ELECTRICAL EQUIPMENT SHALL BE ON HOUSEKEEPING PADS. PADS ARE TO BE PROVIDED BY THE TRADE SUPPLYING THE EQUIPMENT. SEE MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION. WORK TO BE COORDINATED THROUGH THE GENERAL TRADES CONTRACTOR. PADS 4" MIN. 4" THICK W/ W.F.F. (UNLESS NOTED OTHERWISE).

11.

ALL MOVEABLE FURNITURE AND EQUIPMENT TO BE SUPPLIED BY OWNER. PROVIDE BLOCKING IN WALLS TO SECURE ALL EQUIPMENT, ACCESSORIES, CASEWORK, MILLWORK, HANDRAILS, GRAB BARS, ETC AT ALL LOCATIONS SHOWN TO RECEIVE SUCH ITEMS.

12.

COORDINATE LOCATION OF STUDS IN BATHROOM AND OTHER CHASE WALLS WITH LOCATION OF MECHANICAL/PLUMBING EQUIPMENT TO ENSURE ADEQUATE CLEAR SPACE IS PROVIDED FOR DUCTWORK/PLUMBING.

13.

REFER TO ARCHITECTURAL DOOR CLEARANCES SHEET FOR REQUIREMENTS.

14.

LOCATE INSIDE EDGE OF DOOR FRAMES 4" FROM THE INTERSECTION OF ADJACENT WALL. TYP UNO.

15.

SEE DOOR SCHEDULE FOR TRANSOMS, SIDELIGHTS, BORROWED LIGHTS AND WINDOWS WHEN THE WINDOW FRAME IS PART OF THE DOOR FRAME. SPOT GRADES ARE SHOWN RELATIVE TO INTERIOR FINISHED FLOOR ELEVATION.

FLOOR PLAN LEGEND

AC

ACCESS CONTROL DOOR. COORDINATE WITH ELECTRICAL.

PP

PUSH PLATE FOR AUTOMATIC DOOR. SEE ELEC DWGS & DOOR SCHEDULE.

CR

CARD READER. SEE ELECTRICAL DWGS.

HO

HOLD OPEN DOORS. SEE ELECTRICAL DWGS.

NAME

ROOM #

XXX SF

ROOM SF IS FINISH TO FINISH (NET SF)

FLOOR PLAN CODED NOTES

01

TBD

02

TBD

03

TBD

04

TBD

05

TBD

06

TBD

07

TBD

08

TBD

09

TBD

GROSS AREA SCHEDULE

GROSS BUILDING AREA
BUILDING 1 & 3

HEATED

LEVEL 1

9561 SF

LEVEL 2

9824 SF

LEVEL 3

9824 SF

29208 SF

BREEZEWAY / CIRC

LEVEL 1

1592 SF

LEVEL 2

1328 SF

LEVEL 3

1328 SF

4249 SF

BALCONY

LEVEL 1

741 SF

LEVEL 2

741 SF

LEVEL 3

741 SF

2223 SF

TOTAL GROSS SF

35679 SF

date

06/16/25

phase

SCHEMATIC DESIGN

issued for

project number

24029

FLOOR PLAN - BUILDING 1 & 3
- LEVEL 3 & ROOF

sheet number

A-111

OLD GREENVILLE HIGHWAY APARTMENTS

409 John Wesley Dobbs Ave.

Goode Van Slyke Architecture

GOODE VAN SLYKE ARCHITECTURE

Owner

Mercy Housing Southeast
260 Peachtree St. Suite 1800
Atlanta, GA 30303
404.931.9801

Architect

Goode Van Slyke Architecture, LLC.
409 John Wesley Dobbs Avenue
Atlanta, GA 30312
404.523.5525

Civil Engineer

Kimley-Horn
607 Pendleton Street, Suite 100
Greenville, SC 29601
864.501.5724

Structural Engineer

Shear Structural
3411 Pierce Drive, Suite 100
Chamblee, GA 30341
678.664.8051

Mechanical/Plumbing/Electrical Fire Protection

PGE: Phillips Gradick Engineering
8215 Roswell Rd, Suite 925
Atlanta, GA
770.650.9061

COPYRIGHT © 2024 GVSA

Key Plan

seal/signature

not for construction

rev date description

6/18/2025 3:06:55 PM



FLOOR PLAN GENERAL NOTES

- DO NOT SCALE DRAWINGS.
- THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION OF ALL CONDITIONS BEFORE PROCEEDING WITH ANY WORK. ALL DISCREPANCIES BETWEEN FIELD CONDITIONS AND DRAWINGS SHALL BE REPORTED TO ARCHITECT PRIOR TO PROCEEDING WITH WORK.
- SEE FLOOR PLANS & LIFE SAFETY PLANS FOR LOCATIONS OF FIRE RATED WALLS.
- ALL INTERIOR DIMENSIONS ARE TO FACE OF WALL (UNLESS NOTED OTHERWISE). ALL EXTERIOR DIMENSIONS ARE TO EXTERIOR FACE OF METAL STUD OR STRUCTURAL CMU (UNLESS NOTED OTHERWISE).
- SEE STRUCTURAL DRAWINGS FOR LOCATIONS OF ALL STEEL REINFORCING IN WALL & FLOOR CONSTRUCTION.
- SEE FINISH PLANS AND SPECIFICATIONS FOR ADDITIONAL INFORMATION OF LOCATIONS AND TYPES OF FINISH MATERIALS.
- SEE ELEVATIONS AND STRUCTURAL DRAWINGS FOR LOCATIONS OF EXPANSION & CONTROL JOINTS. CONTRACTOR SHALL PROVIDE ADDITIONAL INTERIOR CONTROL JOINTS AS REQUIRED TO COMPLY WITH MAXIMUM SPACING REQUIREMENTS IN SPECIFICATIONS AND NATIONAL MASONRY INSTITUTE.
- SEE ELECTRICAL & AV DRAWINGS FOR DATA & POWER OUTLETS.
- REFER TO MECHANICAL, ELECTRICAL AND PLUMBING DOCUMENTS FOR LOCATIONS OF ALL REQUIRED WALL AND CEILING ACCESS PANELS WHICH ARE NOT SHOWN ON THE ARCHITECTURAL DOCUMENTS.
- MECHANICAL & ELECTRICAL EQUIPMENT SHALL BE ON HOUSEKEEPING PADS. PADS ARE TO BE PROVIDED BY THE TRADE SUPPLYING THE EQUIPMENT. SEE MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION. WORK TO BE COORDINATED THROUGH THE GENERAL TRADES CONTRACTOR. PADS 4" MIN. 4" THICK W/ W.W.F., UNLESS NOTED OTHERWISE.
- ALL MOVEABLE FURNITURE AND EQUIPMENT TO BE SUPPLIED BY OWNER. PROVIDE BLOCKING IN WALLS TO SECURE ALL EQUIPMENT, ACCESSORIES, CASEWORK, MILLWORK, HANDRAILS, GRAB BARS, ETC AT ALL LOCATIONS SHOWN TO RECEIVE SUCH ITEMS.
- COORDINATE LOCATION OF STUDS IN BATHROOM AND OTHER CHASE WALLS WITH LOCATION OF MECHANICAL/PLUMBING EQUIPMENT TO ENSURE ADEQUATE CLEAR SPACE IS PROVIDED FOR DUCTWORK/PLUMBING. REFER TO ARCHITECTURAL DOOR CLEARANCES SHEET FOR REQUIREMENTS.
- LOCATE INSIDE EDGE OF DOOR FRAMES 4" FROM THE INTERSECTION OF ADJACENT WALL, TYP UNO.
- SEE DOOR SCHEDULE FOR TRANSOMS, SIDELIGHTS, BORROWED LIGHTS AND WINDOWS WHEN THE WINDOW FRAME IS PART OF THE DOOR FRAME. SPOT GRADES ARE SHOWN RELATIVE TO INTERIOR FINISHED FLOOR ELEVATION.

FLOOR PLAN LEGEND

- AC ACCESS CONTROL DOOR. COORDINATE WITH ELECTRICAL.
- PP PUSH PLATE FOR AUTOMATIC DOOR. SEE ELEC DWGS & DOOR SCHEDULE.
- CR CARD READER. SEE ELECTRICAL DWGS.
- HO HOLD OPEN DOORS. SEE ELECTRICAL DWGS.

NAME

ROOM

XXX SF ← ROOM SF IS FINISH TO FINISH (NET SF)

FLOOR PLAN CODED NOTES

- 01 TBD
- 02 TBD
- 03 TBD
- 04 TBD
- 05 TBD
- 06 TBD
- 07 TBD
- 08 TBD
- 09 TBD

GROSS AREA SCHEDULE

GROSS BUILDING AREA

BUILDING 2

HEATED	
LEVEL 1	10354 SF
LEVEL 2	10582 SF
LEVEL 3	10582 SF
	31518 SF

BREEZEWAY / CIRC

LEVEL 1	1919 SF
LEVEL 2	1466 SF
LEVEL 3	1466 SF
	4852 SF

BALCONY

Not Placed	0 SF
LEVEL 1	523 SF
LEVEL 2	735 SF
LEVEL 3	735 SF
	1994 SF

TOTAL GROSS SF 38364 SF

OLD GREENVILLE HIGHWAY APARTMENTS

409 John Wesley Dobbs Ave.



Owner

Mercy Housing Southeast
260 Peachtree St. Suite 1800
Atlanta, GA 30303
404.931.9801

Architect

Goode Van Slyke Architecture, LLC.
409 John Wesley Dobbs Avenue
Atlanta, GA 30312
404.523.5525

Civil Engineer

Kimley-Horn
607 Pendleton Street, Suite 100
Greenville, SC 29601
864.501.5724

Structural Engineer

Shear Structural
3411 Pierce Drive, Suite 100
Chamblee, GA 30341
678.664.8051

Mechanical/Plumbing/Electrical

Fire Protection
PGE: Phillips Gradick Engineering
8215 Roswell Rd, Suite 925
Atlanta, GA
770.650.9061

COPYRIGHT © 2024 GVS/A

Key Plan

seal/signature

not for construction

rev date description

date 06/16/25

phase SCHEMATIC DESIGN

issued for

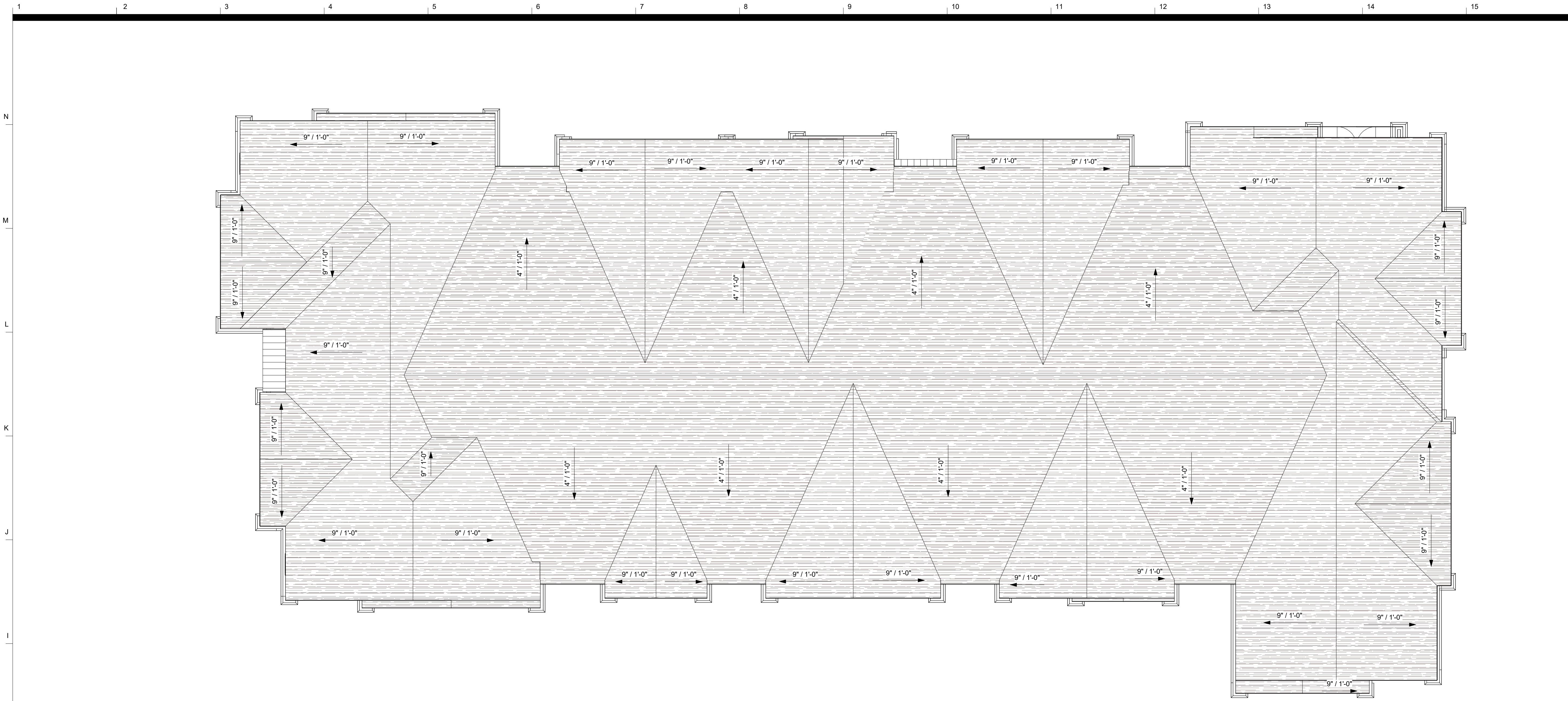
project number 24029

FLOOR PLAN - BUILDING 2 -
LEVEL 1 & LEVEL 2

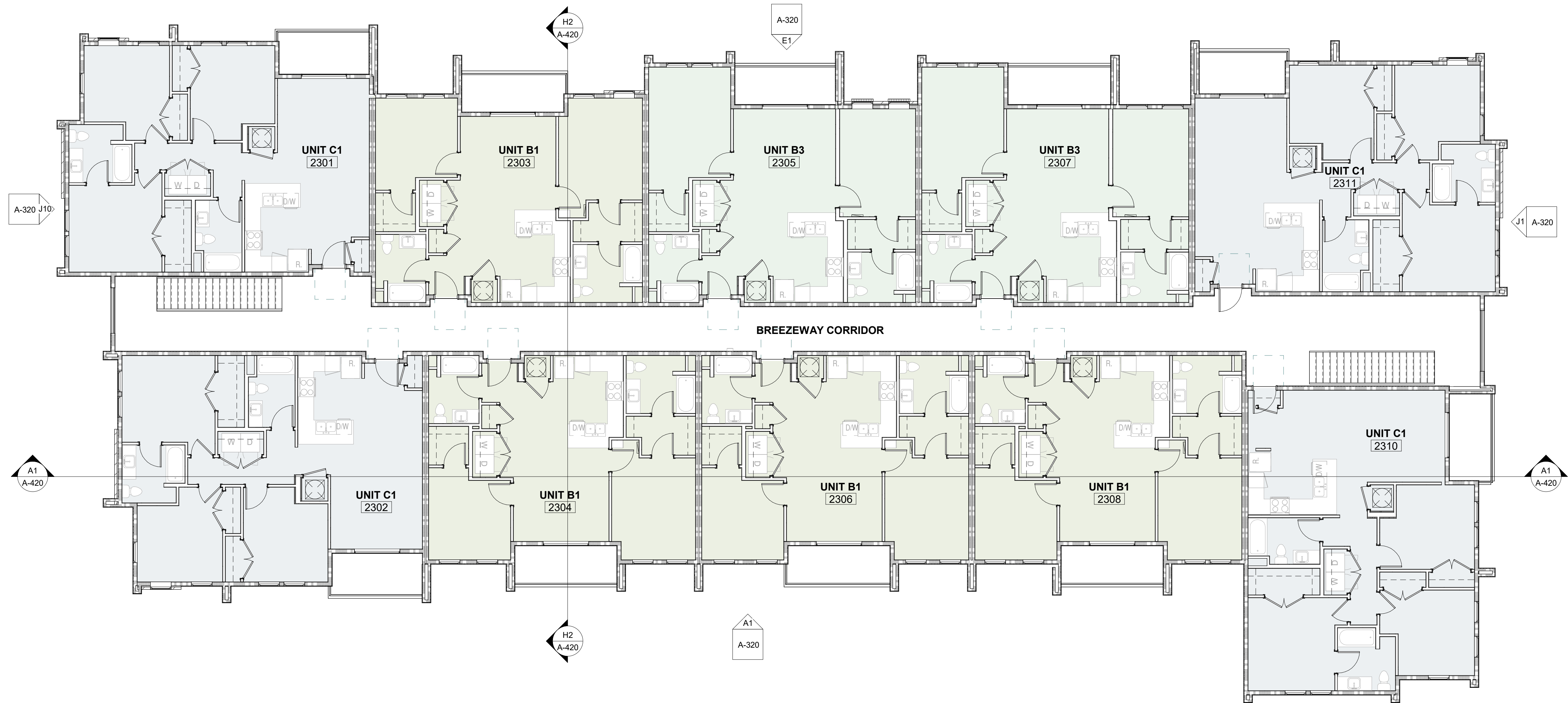
sheet number

A-120

6/18/2025 3:06:59 PM



H1 ROOF - BUILDING 2
A-121 1/8" = 1'-0"



A1 LEVEL 3 - BUILDING 2
A-121 1/8" = 1'-0"

FLOOR PLAN GENERAL NOTES

- DO NOT SCALE DRAWINGS.
- THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION OF ALL CONDITIONS BEFORE PROCEEDING WITH ANY WORK. ALL DISCREPANCIES BETWEEN FIELD CONDITIONS AND DRAWINGS SHALL BE REPORTED TO ARCHITECT PRIOR TO PROCEEDING WITH WORK.
- SEE FLOOR PLANS & LIFE SAFETY PLANS FOR LOCATIONS OF FIRE RATED WALLS.
- ALL INTERIOR DIMENSIONS ARE TO FACE OF WALL (UNLESS NOTED OTHERWISE). ALL EXTERIOR DIMENSIONS ARE TO EXTERIOR FACE OF METAL STUD OR STRUCTURAL CMU (UNLESS NOTED OTHERWISE).
- SEE STRUCTURAL DRAWINGS FOR LOCATIONS OF ALL STEEL REINFORCING IN WALL & FLOOR CONSTRUCTION.
- SEE FINISH PLANS AND SPECIFICATIONS FOR ADDITIONAL INFORMATION OF LOCATIONS AND TYPES OF FINISH MATERIALS.
- SEE ELEVATIONS AND STRUCTURAL DRAWINGS FOR LOCATIONS OF EXPANSION & CONTROL JOINTS. CONTRACTOR SHALL PROVIDE ADDITIONAL INTERIOR CONTROL JOINTS AS REQUIRED TO COMPLY WITH MAXIMUM SPACING REQUIREMENTS IN SPECIFICATIONS AND NATIONAL MASONRY INSTITUTE.
- SEE ELECTRICAL & AV DRAWINGS FOR DATA & POWER OUTLETS. REFER TO MECHANICAL, ELECTRICAL AND PLUMBING DOCUMENTS FOR LOCATIONS OF ALL REQUIRED WALL AND CEILING ACCESS PANELS WHICH ARE NOT SHOWN ON THE ARCHITECTURAL DOCUMENTS.
- MECHANICAL & ELECTRICAL EQUIPMENT SHALL BE ON HOUSEKEEPING PADS. PADS ARE TO BE PROVIDED BY THE TRADE SUPPLYING THE EQUIPMENT. SEE MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION. WORK TO BE COORDINATED THROUGH THE GENERAL TRADES CONTRACTOR. PADS 4" MIN. 4" THICK W/W.W.F., UNLESS NOTED OTHERWISE).
- ALL MOVEABLE FURNITURE AND EQUIPMENT TO BE SUPPLIED BY OWNER. PROVIDE BLOCKING IN WALLS TO SECURE ALL EQUIPMENT, ACCESSORIES, CASEWORK, MILLWORK, HANDRAILS, GRAB BARS, ETC AT ALL LOCATIONS SHOWN TO RECEIVE SUCH ITEMS.
- COORDINATE LOCATION OF STUDS IN BATHROOM AND OTHER CHASE WALLS WITH LOCATION OF MECHANICAL/PLUMBING EQUIPMENT TO ENSURE ADEQUATE CLEAR SPACE IS PROVIDED FOR DUCTWORK/PLUMBING.
- REFER TO ARCHITECTURAL DOOR CLEARANCES SHEET FOR REQUIREMENTS.
- LOCATE INSIDE EDGE OF DOOR FRAMES 4" FROM THE INTERSECTION OF ADJACENT WALL. TYP UNO.
- SEE DOOR SCHEDULE FOR TRANSOMS, SIDELIGHTS, BORROWED LIGHTS AND WINDOWS WHEN THE WINDOW FRAME IS PART OF THE DOOR FRAME.
- SPOT GRADES ARE SHOWN RELATIVE TO INTERIOR FINISHED FLOOR ELEVATION.

FLOOR PLAN LEGEND

AC ACCESS CONTROL DOOR. COORDINATE WITH ELECTRICAL.

PP PUSH PLATE FOR AUTOMATIC DOOR. SEE ELEC DWGS & DOOR SCHEDULE

OR CARD READER; SEE ELECTRICAL DWGS

HO HOLD OPEN DOORS; SEE ELECTRICAL DWGS

NAME

ROOM #

XXX SF ROOM SF IS FINISH TO FINISH (NET SF)

FLOOR PLAN CODED NOTES

U1 TBD

U2 TBD

U3 TBD

U4 TBD

U5 TBD

U6 TBD

U7 TBD

U8 TBD

U9 TBD

GROSS AREA SCHEDULE

GROSS BUILDING AREA BUILDING 2

HEATED	
LEVEL 1	10354 SF
LEVEL 2	10582 SF
LEVEL 3	10582 SF
BREEZEWAY / CIRC	31516 SF

BALCONY	
Not Placed	0 SF
LEVEL 1	523 SF
LEVEL 2	735 SF
LEVEL 3	735 SF

TOTAL GROSS SF	38364 SF
----------------	----------

OLD GREENVILLE HIGHWAY APARTMENTS

409 John Wesley
Dobbs Ave.



Owner
Mercy Housing Southeast
260 Peachtree St. Suite 1800
Atlanta, GA 30303
404.931.9801

Architect
Goode Van Slyke Architecture, LLC.
409 John Wesley Dobbs Avenue
Atlanta, GA 30312
404.523.5525

Civil Engineer
Kimley-Horn
607 Pendleton Street, Suite 100
Greenville, SC 29601
864.501.5724

Structural Engineer
Shear Structural
3411 Pierce Drive, Suite 100
Chamblee, GA 30341
678.664.8051

**Mechanical/Plumbing/Electrical
Fire Protection**
PGE: Phillips Gradick Engineering
8215 Roswell Rd, Suite 925
Atlanta, GA
770.650.9061

COPYRIGHT © 2024 GYSA

Key Plan

seal/signature

not for construction

rev date description

date 06/16/25

phase SCHEMATIC DESIGN

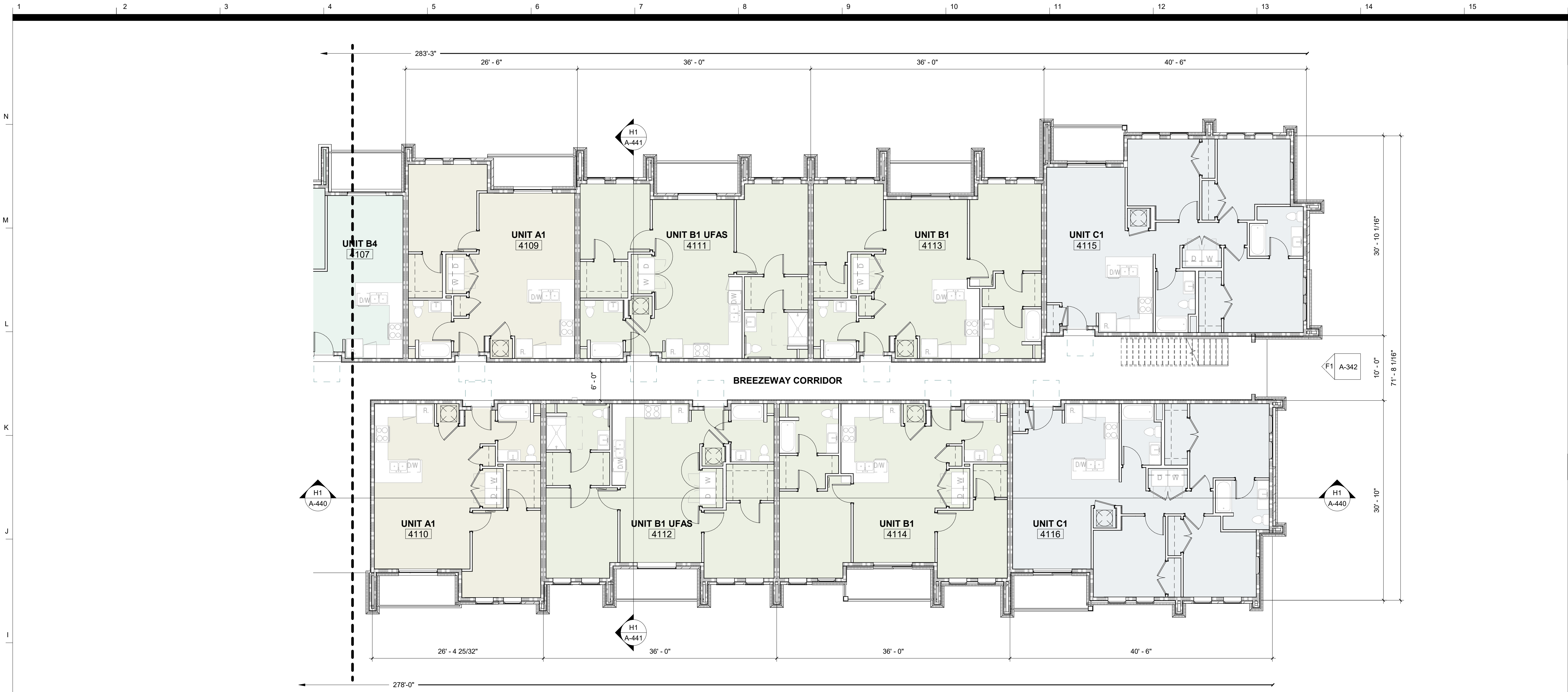
issued for

project number 24029

FLOOR PLAN - BUILDING 2 -
LEVEL 3 & ROOF

sheet number

A-121



H1 LEVEL 1 - BUILDING 4 - B
A-140 1/8" = 1'-0"



A1 LEVEL 1 - BUILDING 4 - A
A-140 1/8" = 1'-0"

FLOOR PLAN GENERAL NOTES

- DO NOT SCALE DRAWINGS.
- THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION OF ALL CONDITIONS BEFORE PROCEEDING WITH ANY WORK. ALL DISCREPANCIES BETWEEN FIELD CONDITIONS AND DRAWINGS SHALL BE REPORTED TO ARCHITECT PRIOR TO PROCEEDING WITH WORK.
- SEE FLOOR PLANS & LIFE SAFETY PLANS FOR LOCATIONS OF FIRE RATED WALLS.
- ALL INTERIOR DIMENSIONS ARE TO FACE OF WALL (UNLESS NOTED OTHERWISE). ALL EXTERIOR DIMENSIONS ARE TO EXTERIOR FACE OF METAL STUD OR STRUCTURAL CMU (UNLESS NOTED OTHERWISE).
- SEE STRUCTURAL DRAWINGS FOR LOCATIONS OF ALL STEEL REINFORCING IN WALL & FLOOR CONSTRUCTION.
- SEE FINISH PLANS AND SPECIFICATIONS FOR ADDITIONAL INFORMATION OF LOCATIONS AND TYPES OF FINISH MATERIALS.
- SEE ELEVATIONS AND STRUCTURAL DRAWINGS FOR LOCATIONS OF EXPANSION & CONTROL JOINTS. CONTRACTOR SHALL PROVIDE ADDITIONAL INTERIOR CONTROL JOINTS AS REQUIRED TO COMPLY WITH MAXIMUM SPACING REQUIREMENTS IN SPECIFICATIONS AND NATIONAL MASONRY INSTITUTE.
- SEE ELECTRICAL & AV DRAWINGS FOR DATA & POWER OUTLETS.
- REFER TO MECHANICAL, ELECTRICAL AND PLUMBING DOCUMENTS FOR LOCATIONS OF ALL REQUIRED WALL AND CEILING ACCESS PANELS WHICH ARE NOT SHOWN ON THE ARCHITECTURAL DOCUMENTS.
- MECHANICAL & ELECTRICAL EQUIPMENT SHALL BE ON HOUSEKEEPING PADS. PADS ARE TO BE PROVIDED BY THE TRADE SUPPLYING THE EQUIPMENT. SEE MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION. WORK TO BE COORDINATED THROUGH THE GENERAL TRADES CONTRACTOR. PADS 4" MIN. 4" THICK W/ W.W.F., UNLESS NOTED OTHERWISE.
- ALL MOVEABLE FURNITURE AND EQUIPMENT TO BE SUPPLIED BY OWNER. PROVIDE BLOCKING IN WALLS TO SECURE ALL EQUIPMENT, ACCESSORIES, CASEWORK, MILLWORK, HANDRAILS, GRAB BARS, ETC AT ALL LOCATIONS SHOWN TO RECEIVE SUCH ITEMS.
- COORDINATE LOCATION OF STUDS IN BATHROOM AND OTHER CHASE WALLS WITH LOCATION OF MECHANICAL/PLUMBING EQUIPMENT TO ENSURE ADEQUATE CLEAR SPACE IS PROVIDED FOR DUCTWORK/PLUMBING.
- REFER TO ARCHITECTURAL DOOR CLEARANCES SHEET FOR REQUIREMENTS.
- LOCATE INSIDE EDGE OF DOOR FRAMES 4" FROM THE INTERSECTION OF ADJACENT WALL, TYP UNO.
- SEE DOOR SCHEDULE FOR TRANSOMS, SIDELIGHTS, BORROWED LIGHTS AND WINDOWS WHEN THE WINDOW FRAME IS PART OF THE DOOR FRAME.
- SPOT GRADES ARE SHOWN RELATIVE TO INTERIOR FINISHED FLOOR ELEVATION.

FLOOR PLAN LEGEND

- AC ACCESS CONTROL DOOR. COORDINATE WITH ELECTRICAL.
- PP PUSH PLATE FOR AUTOMATIC DOOR. SEE ELEC DWGS & DOOR SCHEDULE.
- CR CARD READER. SEE ELECTRICAL DWGS.
- HO HOLD OPEN DOORS; SEE ELECTRICAL DWGS.

NAME
ROOM #
XXX SF ← ROOM SF IS FINISH TO FINISH (NET SF)

FLOOR PLAN CODED NOTES

- 01 TBD
- 02 TBD
- 03 TBD
- 04 TBD
- 05 TBD
- 06 TBD
- 07 TBD
- 08 TBD
- 09 TBD

GROSS AREA SCHEDULE

GROSS BUILDING AREA BUILDING 4	
HEATED	
LEVEL 1	15262 SF
LEVEL 2	15513 SF
LEVEL 3	46288 SF
BREEZEWAY / CIRC	
LEVEL 1	2233 SF
LEVEL 2	1962 SF
LEVEL 3	1956 SF
BALCONY	
LEVEL 1	1177 SF
LEVEL 2	1177 SF
LEVEL 3	3532 SF
TOTAL GROSS SF	55971 SF

OLD
GREENVILLE
HIGHWAY
APARTMENTS

409 John Wesley
Dobbs Ave.

Goode
Van Slyke
Architecture

Owner
Mercy Housing Southeast
260 Peachtree St. Suite 1800
Atlanta, GA 30303
404.931.9801

Architect
Goode Van Slyke Architecture, LLC.
409 John Wesley Dobbs Avenue
Atlanta, GA 30312
404.523.5525

Civil Engineer
Kimley-Horn
607 Pendleton Street, Suite 100
Greenville, SC 29601
864.501.5724

Structural Engineer
Shear Structural
3411 Pierce Drive, Suite 100
Chamblee, GA 30341
678.664.8051

Mechanical/Plumbing/Electrical
Fire Protection
PGE: Phillips Gradick Engineering
8215 Roswell Rd, Suite 925
Atlanta, GA
770.650.9061

COPYRIGHT © 2024 GVSA

Key Plan

seal/signature

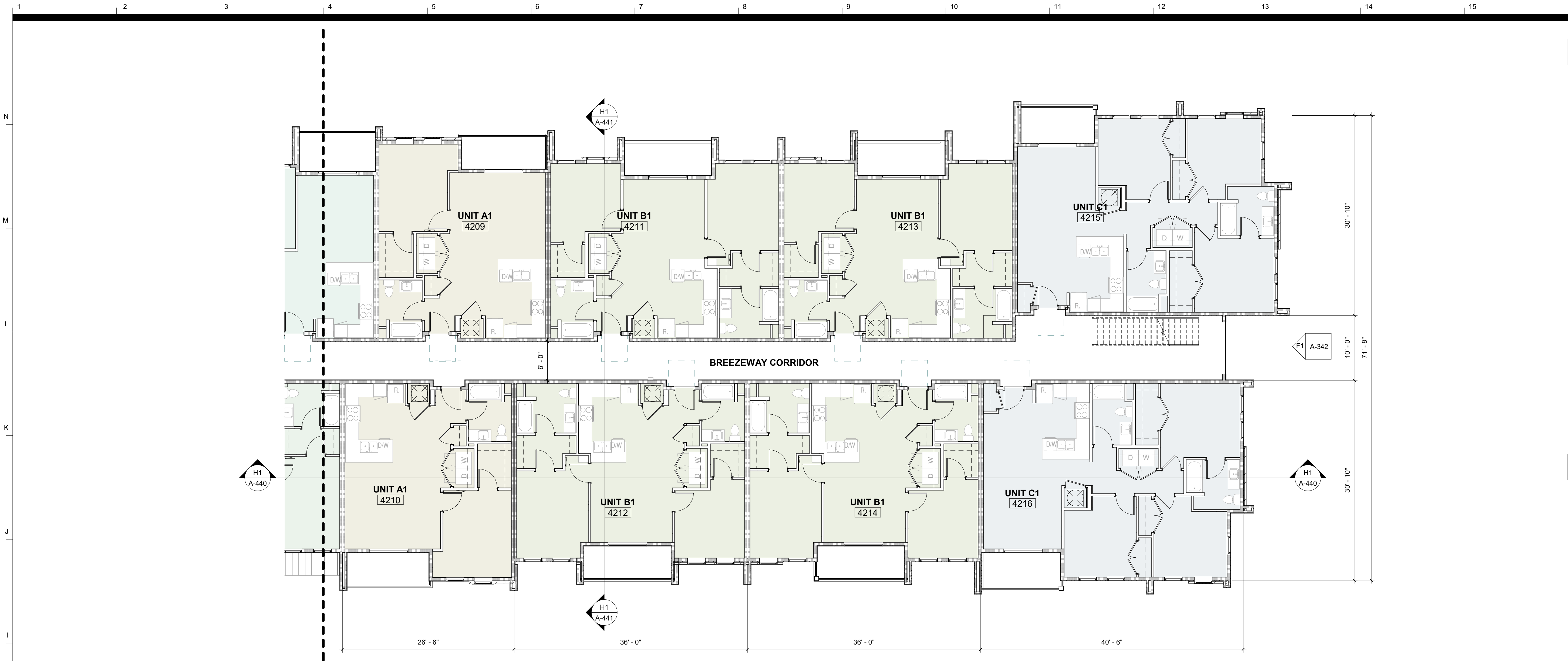
rev date description

date 06/16/25
phase SCHEMATIC DESIGN
issued for
project number 24029

FLOOR PLAN - BUILDING 4 -
LEVEL 1

sheet number

A-140



H1 LEVEL 2 - BUILDING 4 - B
A-141 1/8" = 1'-0"



A1 LEVEL 2 - BUILDING 4 - A
A-141 1/8" = 1'-0"

FLOOR PLAN GENERAL NOTES

- DO NOT SCALE DRAWINGS.
- THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION OF ALL CONDITIONS BEFORE PROCEEDING WITH ANY WORK. ALL DISCREPANCIES BETWEEN FIELD CONDITIONS AND DRAWINGS SHALL BE REPORTED TO ARCHITECT PRIOR TO PROCEEDING WITH WORK.
- SEE FLOOR PLANS & LIFE SAFETY PLANS FOR LOCATIONS OF FIRE RATED WALLS.
- ALL INTERIOR DIMENSIONS ARE TO FACE OF WALL (UNLESS NOTED OTHERWISE). ALL EXTERIOR DIMENSIONS ARE TO EXTERIOR FACE OF METAL STUD OR STRUCTURAL CMU (UNLESS NOTED OTHERWISE).
- SEE STRUCTURAL DRAWINGS FOR LOCATIONS OF ALL STEEL REINFORCING IN WALL & FLOOR CONSTRUCTION.
- SEE FINISH PLANS AND SPECIFICATIONS FOR ADDITIONAL INFORMATION OF LOCATIONS AND TYPES OF FINISH MATERIALS.
- SEE ELEVATIONS AND STRUCTURAL DRAWINGS FOR LOCATIONS OF EXPANSION & CONTROL JOINTS. CONTRACTOR SHALL PROVIDE ADDITIONAL INTERIOR CONTROL JOINTS AS REQUIRED TO COMPLY WITH MAXIMUM SPACING REQUIREMENTS IN SPECIFICATIONS AND NATIONAL MASONRY INSTITUTE.
- SEE ELECTRICAL & AV DRAWINGS FOR DATA & POWER OUTLETS.
- REFER TO MECHANICAL, ELECTRICAL AND PLUMBING DOCUMENTS FOR LOCATIONS OF ALL REQUIRED WALL AND CEILING ACCESS PANELS WHICH ARE NOT SHOWN ON THE ARCHITECTURAL DOCUMENTS.
- MECHANICAL & ELECTRICAL EQUIPMENT SHALL BE ON HOUSEKEEPING PADS. PADS ARE TO BE PROVIDED BY THE TRADE SUPPLYING THE EQUIPMENT. SEE MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION. WORK TO BE COORDINATED THROUGH THE GENERAL TRADES CONTRACTOR. PADS 4" MIN. 4" THICK W/ W.W.F., UNLESS NOTED OTHERWISE.
- ALL MOVEABLE FURNITURE AND EQUIPMENT TO BE SUPPLIED BY OWNER. PROVIDE BLOCKING IN WALLS TO SECURE ALL EQUIPMENT, ACCESSORIES, CASEWORK, MILLWORK, HANDRAILS, GRAB BARS, ETC AT ALL LOCATIONS SHOWN TO RECEIVE SUCH ITEMS.
- COORDINATE LOCATION OF STUDS IN BATHROOM AND OTHER CHASE WALLS WITH LOCATION OF MECHANICAL/PLUMBING EQUIPMENT TO ENSURE ADEQUATE CLEAR SPACE IS PROVIDED FOR DUCTWORK/PLUMBING.
- REFER TO ARCHITECTURAL DOOR CLEARANCES SHEET FOR REQUIREMENTS.
- LOCATE INSIDE EDGE OF DOOR FRAMES 4" FROM THE INTERSECTION OF ADJACENT WALL, TYP UNO.
- SEE DOOR SCHEDULE FOR TRANSOMS, SIDELIGHTS, BORROWED LIGHTS AND WINDOWS WHEN THE WINDOW FRAME IS PART OF THE DOOR FRAME.
- SPOT GRADES ARE SHOWN RELATIVE TO INTERIOR FINISHED FLOOR ELEVATION.

FLOOR PLAN LEGEND

- AC ACCESS CONTROL DOOR. COORDINATE WITH ELECTRICAL.
- PP PUSH PLATE FOR AUTOMATIC DOOR. SEE ELEC DWGS & DOOR SCHEDULE.
- CR CARD READER. SEE ELECTRICAL DWGS.
- HO HOLD OPEN DOORS; SEE ELECTRICAL DWGS.

NAME

ROOM #

XXX SF ROOM SF IS FINISH TO FINISH (NET SF)

FLOOR PLAN CODED NOTES

- 01 TBD
- 02 TBD
- 03 TBD
- 04 TBD
- 05 TBD
- 06 TBD
- 07 TBD
- 08 TBD
- 09 TBD

GROSS AREA SCHEDULE

GROSS BUILDING AREA BUILDING 4	
HEATED	
LEVEL 1	15262 SF
LEVEL 2	15513 SF
LEVEL 3	46288 SF
BREEZEWAY / CIRC	
LEVEL 1	2233 SF
LEVEL 2	1962 SF
LEVEL 3	1956 SF
BALCONY	
LEVEL 1	1177 SF
LEVEL 2	1177 SF
LEVEL 3	3532 SF
TOTAL GROSS SF	55971 SF

OLD GREENVILLE HIGHWAY APARTMENTS

409 John Wesley
Dobbs Ave.

**Goode
Van Slyke
Architecture**

Owner
Mercy Housing Southeast
260 Peachtree St. Suite 1800
Atlanta, GA 30303
404.931.9801

Architect
Goode Van Slyke Architecture, LLC.
409 John Wesley Dobbs Avenue
Atlanta, GA 30312
404.523.5525

Civil Engineer
Kimley-Horn
607 Pendleton Street, Suite 100
Greenville, SC 29601
864.501.5724

Structural Engineer
Shear Structural
3411 Pierce Drive, Suite 100
Chamblee, GA 30341
678.664.8051

**Mechanical/Plumbing/Electrical
Fire Protection**
PGE, Phillips Gradick Engineering
8215 Roswell Rd, Suite 925
Atlanta, GA
770.650.9061

COPYRIGHT © 2024 GYSA

Key Plan

seal/signature

not for construction

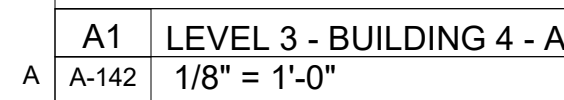
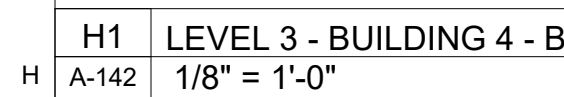
rev date description

date 06/16/25
phase SCHEMATIC DESIGN
issued for
project number 24029

FLOOR PLAN - BUILDING 4 -
LEVEL 2

sheet number

A-141



**Mechanical/Plumbing/Electrical
Fire Protection**
PGE; Phillips Gradick Engineering
8215 Roswell Rd, Suite 925
Atlanta, GA
770.650.9061

NAME

ROOM #

XXX SF ← ROOM SF IS FINISH TO FINISH (NET SF)

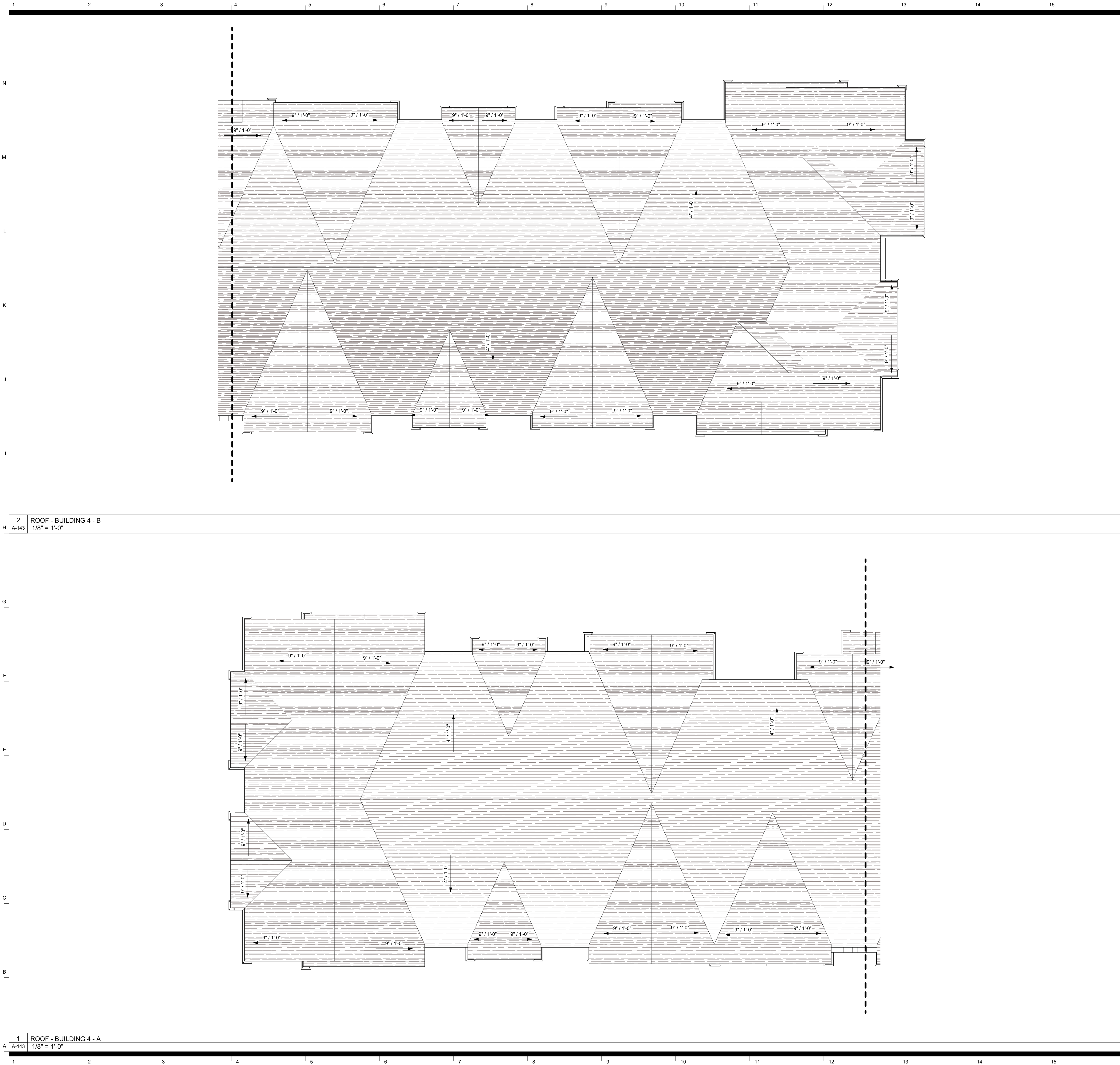
01	TBD
02	TBD
03	TBD
04	TBD
05	TBD
06	TBD
07	TBD
08	TBD
09	TBD

GROSS BUILDING AREA BUILDING 4	
HEATED	
LEVEL 1	15262 SF
LEVEL 2	15513 SF
LEVEL 3	15513 SF
	46288 SF
BREEZEWAY / CIRC	
LEVEL 1	2233 SF
LEVEL 2	1962 SF
LEVEL 3	1956 SF
	6151 SF
BALCONY	
LEVEL 1	1177 SF
LEVEL 2	1177 SF
LEVEL 3	1177 SF
	3532 SF
TOTAL GROSS SF	55971 SF

A-142

rev	date	description
-----	------	-------------

6/18/2025 3:07:25 PM



FLOOR PLAN GENERAL NOTES

- DO NOT SCALE DRAWINGS
- THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION OF ALL CONDITIONS BEFORE PROCEEDING WITH ANY WORK. ALL DISCREPANCIES BETWEEN FIELD CONDITIONS AND DRAWINGS SHALL BE REPORTED TO ARCHITECT PRIOR TO PROCEEDING WITH WORK.
- SEE FLOOR PLANS & LIFE SAFETY PLANS FOR LOCATIONS OF FIRE RATED WALLS
- ALL INTERIOR DIMENSIONS ARE TO FACE OF WALL (UNLESS NOTED OTHERWISE). ALL EXTERIOR DIMENSIONS ARE TO EXTERIOR FACE OF METAL STUD OR STRUCTURAL CMU (UNLESS NOTED OTHERWISE).
- SEE STRUCTURAL DRAWINGS FOR LOCATIONS OF ALL STEEL REINFORCING IN WALL & FLOOR CONSTRUCTION.
- SEE FINISH PLANS AND SPECIFICATIONS FOR ADDITIONAL INFORMATION OF LOCATIONS AND TYPES OF FINISH MATERIALS.
- SEE ELEVATIONS AND STRUCTURAL DRAWINGS FOR LOCATIONS OF EXPANSION & CONTROL JOINTS. CONTRACTOR SHALL PROVIDE ADDITIONAL INTERIOR CONTROL JOINTS AS REQUIRED TO COMPLY WITH MAXIMUM SPACING REQUIREMENTS IN SPECIFICATIONS AND NATIONAL MASONRY INSTITUTE.
- SEE ELECTRICAL & AV DRAWINGS FOR DATA & POWER OUTLETS.
- REFER TO MECHANICAL, ELECTRICAL AND PLUMBING DOCUMENTS FOR LOCATIONS OF ALL REQUIRED WALL AND CEILING ACCESS PANELS WHICH ARE NOT SHOWN ON THE ARCHITECTURAL DOCUMENTS.
- MECHANICAL & ELECTRICAL EQUIPMENT SHALL BE ON HOUSEKEEPING PADS. PADS ARE TO BE PROVIDED BY THE TRADE SUPPLYING THE EQUIPMENT. SEE MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION. WORK TO BE COORDINATED THROUGH THE GENERAL TRADES CONTRACTOR. PADS 4" MIN. 4" THICK W/ W.W.F., UNLESS NOTED OTHERWISE).
- ALL MOVEABLE FURNITURE AND EQUIPMENT TO BE SUPPLIED BY OWNER. PROVIDE BLOCKING IN WALLS TO SECURE ALL EQUIPMENT, ACCESSORIES, CASEWORK, MILLWORK, HANDRAILS, GRAB BARS, ETC AT ALL LOCATIONS SHOWN TO RECEIVE SUCH ITEMS.
- COORDINATE LOCATION OF STUDS IN BATHROOM AND OTHER CHASE WALLS WITH LOCATION OF MECHANICAL/PLUMBING EQUIPMENT TO ENSURE ADEQUATE CLEAR SPACE IS PROVIDED FOR DUCTWORK/PLUMBING.
- REFER TO ARCHITECTURAL DOOR CLEARANCES SHEET FOR REQUIREMENTS.
- LOCATE INSIDE EDGE OF DOOR FRAMES 4" FROM THE INTERSECTION OF ADJACENT WALL, TYP UNO
- SEE DOOR SCHEDULE FOR TRANSOMS, SIDELIGHTS, BORROWED LIGHTS AND WINDOWS WHEN THE WINDOW FRAME IS PART OF THE DOOR FRAME. SPOT GRADES ARE SHOWN RELATIVE TO INTERIOR FINISHED FLOOR ELEVATION.

FLOOR PLAN LEGEND

- ☐ AC ACCESS CONTROL DOOR. COORDINATE WITH ELECTRICAL.
- ☐ PP PUSH PLATE FOR AUTOMATIC DOOR. SEE ELEC DWGS & DOOR SCHEDULE
- ☐ CR CARD READER. SEE ELECTRICAL DWGS
- ☐ HO HOLD OPEN DOORS; SEE ELECTRICAL DWGS

NAME

ROOM #

XXX SF ROOM SF IS FINISH TO FINISH (NET SF)

FLOOR PLAN CODED NOTES

- 01 TBD
- 02 TBD
- 03 TBD
- 04 TBD
- 05 TBD
- 06 TBD
- 07 TBD
- 08 TBD
- 09 TBD

OLD GREENVILLE HIGHWAY APARTMENTS

409 John Wesley
Dobbs Ave.



Owner

Mercy Housing Southeast
260 Peachtree St. Suite 1800
Atlanta, GA 30303
404.931.9801

Architect

Goode Van Slyke Architecture, LLC.
409 John Wesley Dobbs Avenue
Atlanta, GA 30312
404.523.5525

Civil Engineer

Kimley-Horn
607 Pendleton Street, Suite 100
Greenville, SC 29601
864.501.5724

Structural Engineer

Shear Structural
3411 Pierce Drive, Suite 100
Chamblee, GA 30341
678.664.8051

Mechanical/Plumbing/Electrical

Fire Protection

PG&E, Phillips Gradick Engineering
8215 Roswell Rd, Suite 925
Atlanta, GA
770.650.9061

COPYRIGHT © 2024 GVSA

Key Plan

seal/signature

not for construction

rev date description

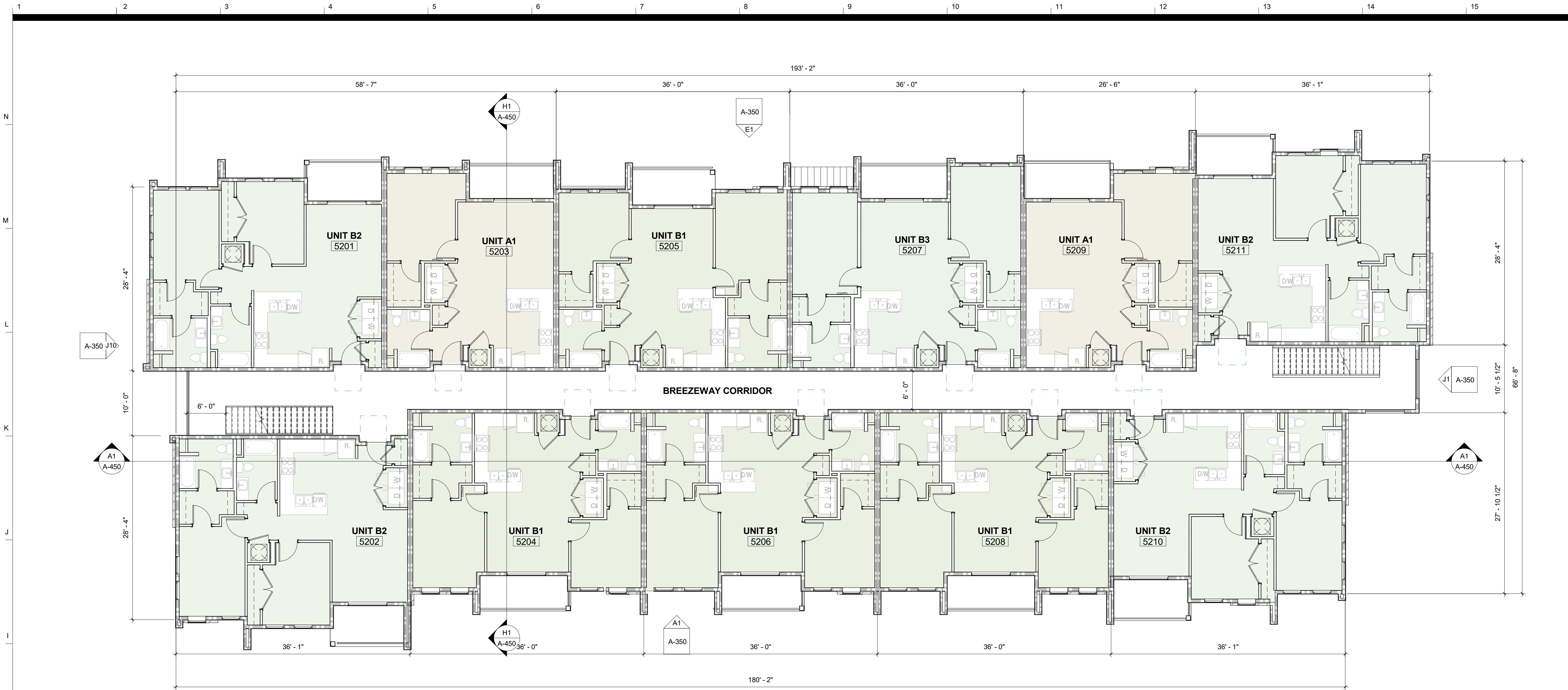
date 06/16/25
phase SCHEMATIC DESIGN
issued for
project number 24029

FLOOR PLAN - BUILDING 4 -
ROOF

sheet number

A-143

6/23/2025 2:05:14 PM



H1 LEVEL 2 - BUILDING 5
A-150 1/8" = 1'-0"



A1 LEVEL 1 - BUILDING 5
A-150 1/8" = 1'-0"

FLOOR PLAN GENERAL NOTES

- DO NOT SCALE DRAWINGS.
- THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION OF ALL CONDITIONS BEFORE PROCEEDING WITH ANY WORK. ALL DISCREPANCIES BETWEEN FIELD CONDITIONS AND DRAWINGS SHALL BE REPORTED TO ARCHITECT PRIOR TO PROCEEDING WITH WORK.
- SEE FLOOR PLANS & LIFE SAFETY PLANS FOR LOCATIONS OF FIRE RATED WALLS.
- ALL INTERIOR DIMENSIONS ARE TO FACE OF WALL (UNLESS NOTED OTHERWISE). ALL EXTERIOR DIMENSIONS ARE TO EXTERIOR FACE OF METAL STUD OR STRUCTURAL CMU (UNLESS NOTED OTHERWISE).
- SEE STRUCTURAL DRAWINGS FOR LOCATIONS OF ALL STEEL REINFORCING IN WALL & FLOOR CONSTRUCTION.
- SEE FINISH PLANS AND SPECIFICATIONS FOR ADDITIONAL INFORMATION OF LOCATIONS AND TYPES OF FINISH MATERIALS.
- SEE ELEVATIONS AND STRUCTURAL DRAWINGS FOR LOCATIONS OF EXPANSION & CONTROL JOINTS. CONTRACTOR SHALL PROVIDE ADDITIONAL INTERIOR CONTROL JOINTS AS REQUIRED TO COMPLY WITH MAXIMUM SPACING REQUIREMENTS IN SPECIFICATIONS AND NATIONAL MASONRY INSTITUTE.
- SEE ELECTRICAL & AV DRAWINGS FOR DATA & POWER OUTLETS.
- REFER TO MECHANICAL, ELECTRICAL AND PLUMBING DOCUMENTS FOR LOCATIONS OF ALL REQUIRED WALL AND CEILING ACCESS PANELS WHICH ARE NOT SHOWN ON THE ARCHITECTURAL DOCUMENTS.
- MECHANICAL & ELECTRICAL EQUIPMENT SHALL BE ON HOUSEKEEPING PADS. PADS ARE TO BE PROVIDED BY THE TRADE SUPPLYING THE EQUIPMENT. SEE MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION. WORK TO BE COORDINATED THROUGH THE GENERAL TRADES CONTRACTOR, PADS 4" MIN. 4" THICK W/W.F.F., UNLESS NOTED OTHERWISE).
- ALL MOVEABLE FURNITURE AND EQUIPMENT TO BE SUPPLIED BY OWNER.
- PROVIDE BLOCKING IN WALLS TO SECURE ALL EQUIPMENT, ACCESSORIES, CASEWORK, MILLWORK, HANDRAILS, GRAB BARS, ETC AT ALL LOCATIONS SHOWN TO RECEIVE SUCH ITEMS.
- COORDINATE LOCATION OF STUDIOS IN BATHROOM AND OTHER CHASE WALLS WITH LOCATION OF MECHANICAL/PLUMBING EQUIPMENT TO ENSURE ADEQUATE CLEAR SPACE IS PROVIDED FOR DUCTWORK/PLUMBING.
- REFER TO ARCHITECTURAL DOOR CLEARANCES SHEET FOR REQUIREMENTS.
- LOCATE INSIDE EDGE OF DOOR FRAMES 4" FROM THE INTERSECTION OF ADJACENT WALL, TYP UNO.
- SEE DOOR SCHEDULE FOR TRANSOMS, SIDELIGHTS, BORROWED LIGHTS AND WINDOWS WHEN THE WINDOW FRAME IS PART OF THE DOOR FRAME.
- SPOT GRADES ARE SHOWN RELATIVE TO INTERIOR FINISHED FLOOR ELEVATION.

FLOOR PLAN LEGEND

AC ACCESS CONTROL DOOR. COORDINATE WITH ELECTRICAL.

PP PUSH PLATE FOR AUTOMATIC DOOR. SEE ELEC DWGS & DOOR SCHEDULE

CR CARD READER; SEE ELECTRICAL DWGS

HO HOLD OPEN DOORS; SEE ELECTRICAL DWGS

NAME

ROOM #

XXX SF ROOM SF IS FINISH TO FINISH (NET SF)

FLOOR PLAN CODED NOTES

- TBD
- TBD
- TBD
- TBD
- TBD
- TBD
- TBD
- TBD
- TBD

GROSS AREA SCHEDULE

GROSS BUILDING AREA BUILDING 5	
HEATED	
LEVEL 1	10174 SF
LEVEL 2	10446 SF
LEVEL 3	10446 SF
	31067 SF
BREEZEWAY / CIRC	
LEVEL 1	1746 SF
LEVEL 2	1474 SF
LEVEL 3	1474 SF
	4694 SF
BALCONY	
LEVEL 1	758 SF
LEVEL 2	758 SF
LEVEL 3	758 SF
	2273 SF
TOTAL GROSS SF	38033 SF

OLD GREENVILLE HIGHWAY APARTMENTS

409 John Wesley
Dobbs Ave.

**Goode
Van Slyke
Architecture**

Owner

Mercy Housing Southeast
260 Peachtree St. Suite 1800
Atlanta, GA 30303
404.931.9801

Architect

Goode Van Slyke Architecture, LLC.
409 John Wesley Dobbs Avenue
Atlanta, GA 30312
404.523.5525

Civil Engineer

Kimley-Horn
607 Pendleton Street, Suite 100
Greenville, SC 29601
864.501.5724

Structural Engineer

Shear Structural
3411 Pierce Drive, Suite 100
Chamblee, GA 30341
678.664.8051

Mechanical/Plumbing/Electrical

Fire Protection
PGE: Phillips Gradick Engineering
8215 Roswell Rd, Suite 925
Atlanta, GA
770.650.9061

COPYRIGHT © 2024 GYSA

Key Plan

seal/signature

rev date description

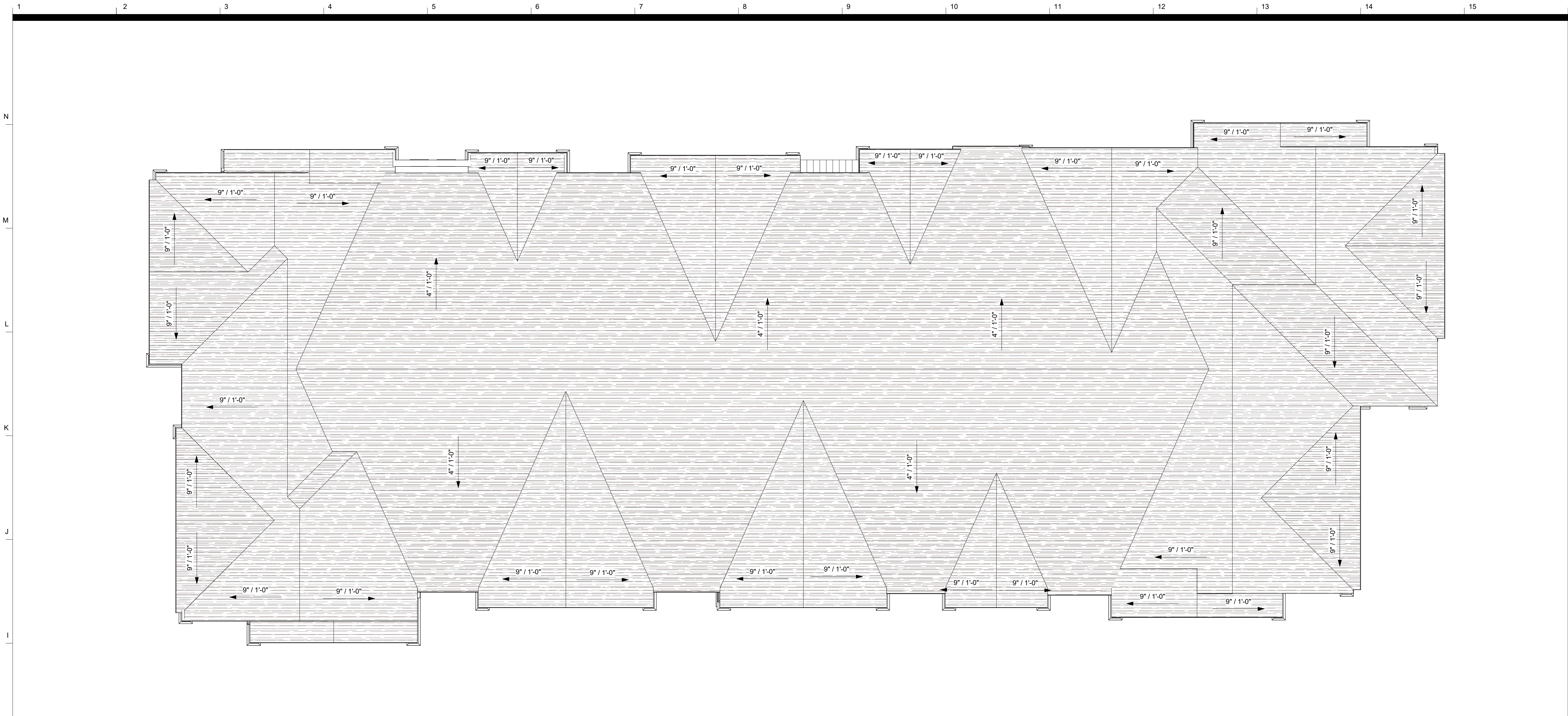
date 06/16/25
phase SCHEMATIC DESIGN

issued for
project number 24029

FLOOR PLAN - BUILDING 5 -
LEVEL 1 & LEVEL 2

sheet number

A-150



H1 ROOF - BUILDING 5
A-151 1/8" = 1'-0"



A1 LEVEL 3 - BUILDING 5
A-151 1/8" = 1'-0"

FLOOR PLAN GENERAL NOTES

- DO NOT SCALE DRAWINGS.
- THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION OF ALL CONDITIONS BEFORE PROCEEDING WITH ANY WORK. ALL DISCREPANCIES BETWEEN FIELD CONDITIONS AND DRAWINGS SHALL BE REPORTED TO ARCHITECT PRIOR TO PROCEEDING WITH WORK.
- SEE FLOOR PLANS & LIFE SAFETY PLANS FOR LOCATIONS OF FIRE RATED WALLS.
- ALL INTERIOR DIMENSIONS ARE TO FACE OF WALL (UNLESS NOTED OTHERWISE). ALL EXTERIOR DIMENSIONS ARE TO EXTERIOR FACE OF METAL STUD OR STRUCTURAL CMU (UNLESS NOTED OTHERWISE).
- SEE STRUCTURAL DRAWINGS FOR LOCATIONS OF ALL STEEL REINFORCING IN WALL & FLOOR CONSTRUCTION.
- SEE FINISH PLANS AND SPECIFICATIONS FOR ADDITIONAL INFORMATION OF LOCATIONS AND TYPES OF FINISH MATERIALS.
- SEE ELEVATIONS AND STRUCTURAL DRAWINGS FOR LOCATIONS OF EXPANSION & CONTROL JOINTS. CONTRACTOR SHALL PROVIDE ADDITIONAL INTERIOR CONTROL JOINTS AS REQUIRED TO COMPLY WITH MAXIMUM SPACING REQUIREMENTS IN SPECIFICATIONS AND NATIONAL MASONRY INSTITUTE.
- SEE ELECTRICAL & AV DRAWINGS FOR DATA & POWER OUTLETS.
- REFER TO MECHANICAL, ELECTRICAL AND PLUMBING DOCUMENTS FOR LOCATIONS OF ALL REQUIRED WALL AND CEILING ACCESS PANELS WHICH ARE NOT SHOWN ON THE ARCHITECTURAL DOCUMENTS.
- MECHANICAL & ELECTRICAL EQUIPMENT SHALL BE ON HOUSEKEEPING PADS. PADS ARE TO BE PROVIDED BY THE TRADE SUPPLYING THE EQUIPMENT. SEE MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION. WORK TO BE COORDINATED THROUGH THE GENERAL TRADES CONTRACTOR. PADS 4" MIN. 4" THICK W/W.F.F. UNLESS NOTED OTHERWISE).
- ALL MOVEABLE FURNITURE AND EQUIPMENT TO BE SUPPLIED BY OWNER.
- PROVIDE BLOCKING IN WALLS TO SECURE ALL EQUIPMENT, ACCESSORIES, CASEWORK, MILLWORK, HANDRAILS, GRAB BARS, ETC AT ALL LOCATIONS SHOWN TO RECEIVE SUCH ITEMS.
- COORDINATE LOCATION OF STUDS IN BATHROOM AND OTHER CHASE WALLS WITH LOCATION OF MECHANICAL/PLUMBING EQUIPMENT TO ENSURE ADEQUATE CLEAR SPACE IS PROVIDED FOR DUCTWORK/PLUMBING.
- REFER TO ARCHITECTURAL DOOR CLEARANCES SHEET FOR REQUIREMENTS.
- LOCATE INSIDE EDGE OF DOOR FRAMES 4" FROM THE INTERSECTION OF ADJACENT WALL. TYP UNO.
- SEE DOOR SCHEDULE FOR TRANSOMS, SIDELIGHTS, BORROWED LIGHTS AND WINDOWS WHEN THE WINDOW FRAME IS PART OF THE DOOR FRAME.
- SPOT GRADES ARE SHOWN RELATIVE TO INTERIOR FINISHED FLOOR ELEVATION.

FLOOR PLAN LEGEND

- AC ACCESS CONTROL DOOR. COORDINATE WITH ELECTRICAL.
- PP PUSH PLATE FOR AUTOMATIC DOOR. SEE ELEC DWGS & DOOR SCHEDULE.
- CR CARD READER; SEE ELECTRICAL DWGS
- HO HOLD OPEN DOORS; SEE ELECTRICAL DWGS
- NAME
- ROOM #
- XXX SF ROOM SF IS FINISH TO FINISH (NET SF)

FLOOR PLAN CODED NOTES

- TBD
- TBD
- TBD
- TBD
- TBD
- TBD
- TBD
- TBD
- TBD
- TBD

GROSS AREA SCHEDULE

GROSS BUILDING AREA BUILDING 5	
HEATED	
LEVEL 1	10174 SF
LEVEL 2	10446 SF
LEVEL 3	10446 SF
	31067 SF
BREEZEWAY / CIRC	
LEVEL 1	1746 SF
LEVEL 2	1474 SF
LEVEL 3	1474 SF
	4694 SF
BALCONY	
LEVEL 1	758 SF
LEVEL 2	758 SF
LEVEL 3	758 SF
	2273 SF
TOTAL GROSS SF	38033 SF

OLD GREENVILLE HIGHWAY APARTMENTS

409 John Wesley Dobbs Ave.



Owner
Mercy Housing Southeast
260 Peachtree St. Suite 1800
Atlanta, GA 30303
404.931.9801

Architect
Goode Van Slyke Architecture, LLC.
409 John Wesley Dobbs Avenue
Atlanta, GA 30312
404.523.5525

Civil Engineer
Kimley-Horn
607 Pendleton Street, Suite 100
Greenville, SC 29601
864.501.5724

Structural Engineer
Shear Structural
3411 Pierce Drive, Suite 100
Chamblee, GA 30341
678.664.8051

Mechanical/Plumbing/Electrical Fire Protection
PGE: Phillips Gradick Engineering
8215 Roswell Rd, Suite 925
Atlanta, GA
770.650.9061

COPYRIGHT © 2024 GYSA

Key Plan

seal/signature

not for construction

rev date description

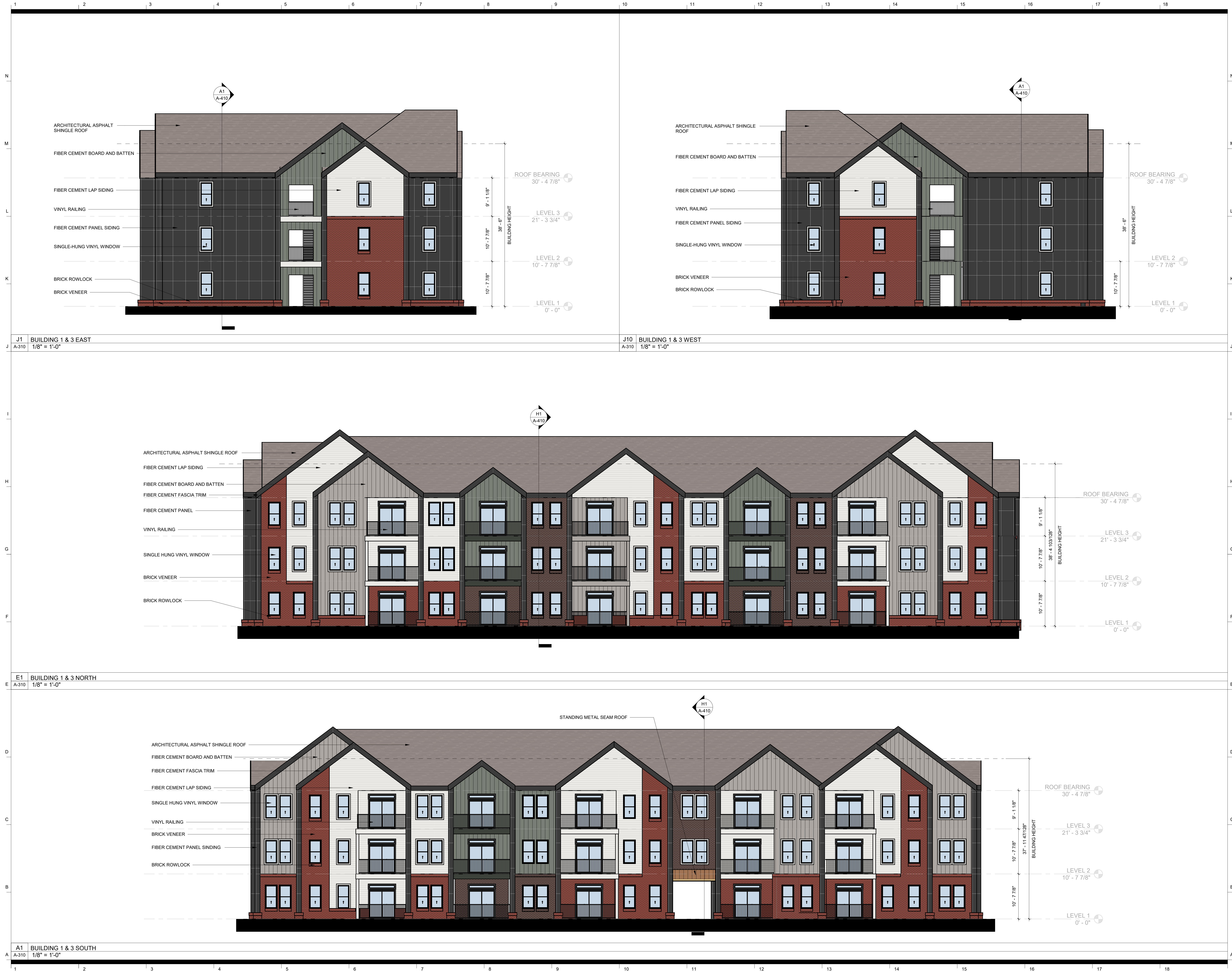
date 06/16/25
phase SCHEMATIC DESIGN
issued for
project number 24029

FLOOR PLAN - BUILDING 5 -
LEVEL 3 & ROOF

sheet number

A-151

6/20/2025 12:52:19 PM



OLD GREENVILLE HIGHWAY APARTMENTS

409 John Wesley Dobbs Ave.



Owner
Mercy Housing Southeast
260 Peachtree St. Suite 1800
Atlanta, GA 30303
404.931.9801

Architect
Goode Van Slyke Architecture, LLC.
409 John Wesley Dobbs Avenue
Atlanta, GA 30312
404.523.5525

Civil Engineer
Kimley-Horn
607 Pendleton Street, Suite 100
Greenville, SC 29601
864.501.5724

Structural Engineer
Shear Structural
3411 Pierce Drive, Suite 100
Chamblee, GA 30341
678.664.8051

Mechanical/Plumbing/Electrical Fire Protection
PGE: Phillips Gradick Engineering
8215 Roswell Rd, Suite 925
Atlanta, GA
770.650.9061

COPYRIGHT © 2024 GYSA

Key Plan

seal/signature

not for construction

rev date description

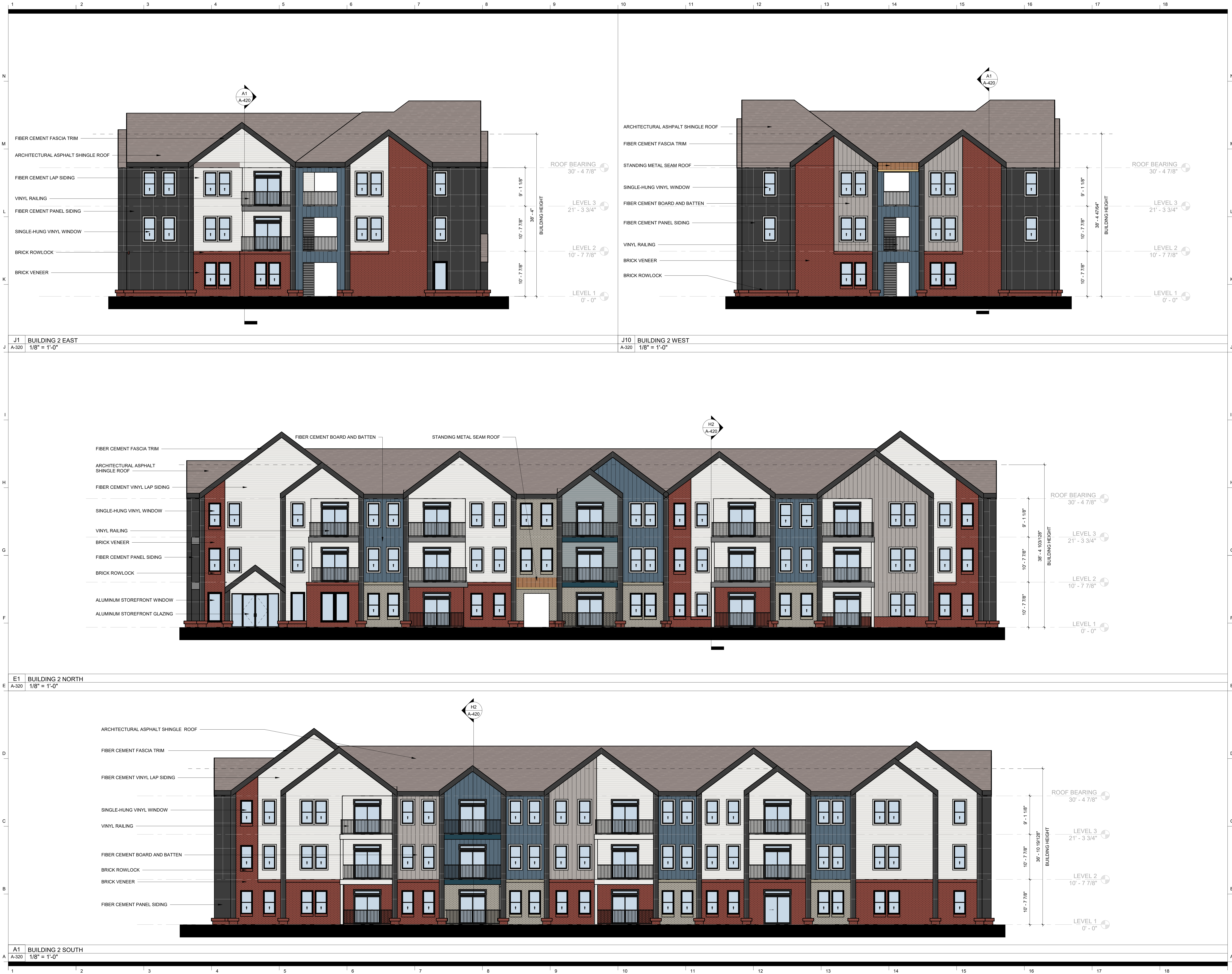
date 06/16/25
phase SCHEMATIC DESIGN
issued for
project number 24029

EXTERIOR ELEVATIONS - BUILDING 1 & 3

sheet number

A-310

6/18/2025 3:07:44 PM



OLD GREENVILLE HIGHWAY APARTMENTS

409 John Wesley Dobbs Ave.



Owner
Mercy Housing Southeast
260 Peachtree St. Suite 1800
Atlanta, GA 30303
404.931.9801

Architect
Goode Van Slyke Architecture, LLC.
409 John Wesley Dobbs Avenue
Atlanta, GA 30312
404.523.5525

Civil Engineer
Kimley-Horn
607 Pendleton Street, Suite 100
Greenville, SC 29601
864.501.5724

Structural Engineer
Shear Structural
3411 Pierce Drive, Suite 100
Chamblee, GA 30341
678.664.8051

Mechanical/Plumbing/Electrical Fire Protection
PGE: Phillips Gradick Engineering
8215 Roswell Rd, Suite 925
Atlanta, GA
770.650.9061

COPYRIGHT © 2024 GYSA
Key Plan

seal/signature

not for construction

rev date description

date 06/16/25
phase SCHEMATIC DESIGN
issued for
project number 24029

EXTERIOR ELEVATIONS - BUILDING 2

sheet number

A-320

6/18/2025 3:07:47 PM



OLD GREENVILLE HIGHWAY APARTMENTS

409 John Wesley Dobbs Ave.



Owner
Mercy Housing Southeast
260 Peachtree St. Suite 1800
Atlanta, GA 30303
404.931.9801

Architect
Goode Van Slyke Architecture, LLC.
409 John Wesley Dobbs Avenue
Atlanta, GA 30312
404.523.5525

Civil Engineer
Kimley-Horn
607 Pendleton Street, Suite 100
Greenville, SC 29601
864.501.5724

Structural Engineer
Shear Structural
3411 Pierce Drive, Suite 100
Chamblee, GA 30341
678.664.8051

Mechanical/Plumbing/Electrical Fire Protection
PGE: Phillips Gradick Engineering
8215 Roswell Rd, Suite 925
Atlanta, GA
770.650.9061

COPYRIGHT © 2024 GYSA

Key Plan

seal/signature

not for construction

rev date description

date 06/16/25
phase SCHEMATIC DESIGN
issued for
project number 24029

EXTERIOR ELEVATIONS - BUILDING 4

sheet number

A-340

6/23/2025 3:25:05 PM



OLD GREENVILLE HIGHWAY APARTMENTS

409 John Wesley Dobbs Ave.



Owner
Mercy Housing Southeast
260 Peachtree St. Suite 1800
Atlanta, GA 30303
404.931.9801

Architect
Goode Van Slyke Architecture, LLC.
409 John Wesley Dobbs Avenue
Atlanta, GA 30312
404.523.5525

Civil Engineer
Kimley-Horn
607 Pendleton Street, Suite 100
Greenville, SC 29601
864.501.5724

Structural Engineer
Shear Structural
3411 Pierce Drive, Suite 100
Chamblee, GA 30341
678.664.8051

Mechanical/Plumbing/Electrical Fire Protection
PGE: Phillips Gradick Engineering
8215 Roswell Rd, Suite 925
Atlanta, GA
770.650.9061

COPYRIGHT © 2024 GYSA
Key Plan

seal/signature

not for construction

rev date description

date 06/16/25
phase SCHEMATIC DESIGN
issued for
project number 24029

EXTERIOR ELEVATIONS - BUILDING 4

sheet number

A-341

6/18/2025 3:07:48 PM



OLD GREENVILLE HIGHWAY APARTMENTS

409 John Wesley
Dobbs Ave.



Owner
Mercy Housing Southeast
260 Peachtree St. Suite 1800
Atlanta, GA 30303
404.931.9801

Architect
Goode Van Slyke Architecture, LLC.
409 John Wesley Dobbs Avenue
Atlanta, GA 30312
404.523.5525

Civil Engineer
Kimley-Horn
607 Pendleton Street, Suite 100
Greenville, SC 29601
864.501.5724

Structural Engineer
Shear Structural
3411 Pierce Drive, Suite 100
Chamblee, GA 30341
678.664.8051

**Mechanical/Plumbing/Electrical
Fire Protection**
PGE: Phillips Gradick Engineering
8215 Roswell Rd, Suite 925
Atlanta, GA
770.650.9061

COPYRIGHT © 2024 GYSA

Key Plan

seal/signature

not for construction

rev	date	description
-----	------	-------------

date	06/16/25
phase	SCHEMATIC DESIGN
issued for	
project number	24029

EXTERIOR ELEVATIONS -
BUILDING 4

sheet number

A-342

6/23/2025 3:07:45 PM



OLD GREENVILLE HIGHWAY APARTMENTS

409 John Wesley Dobbs Ave.

Goode Van Slyke Architecture

Owner
Mercy Housing Southeast
260 Peachtree St. Suite 1800
Atlanta, GA 30303
404.931.9801

Architect
Goode Van Slyke Architecture, LLC.
409 John Wesley Dobbs Avenue
Atlanta, GA 30312
404.523.5525

Civil Engineer
Kimley-Horn
607 Pendleton Street, Suite 100
Greenville, SC 29601
864.501.5724

Structural Engineer
Shear Structural
3411 Pierce Drive, Suite 100
Chamblee, GA 30341
678.664.8051

Mechanical/Plumbing/Electrical Fire Protection
PGE: Phillips Gradick Engineering
8215 Roswell Rd, Suite 925
Atlanta, GA
770.650.9061

COPYRIGHT © 2024 GYSA

Key Plan

seal/signature

not for construction

rev date description

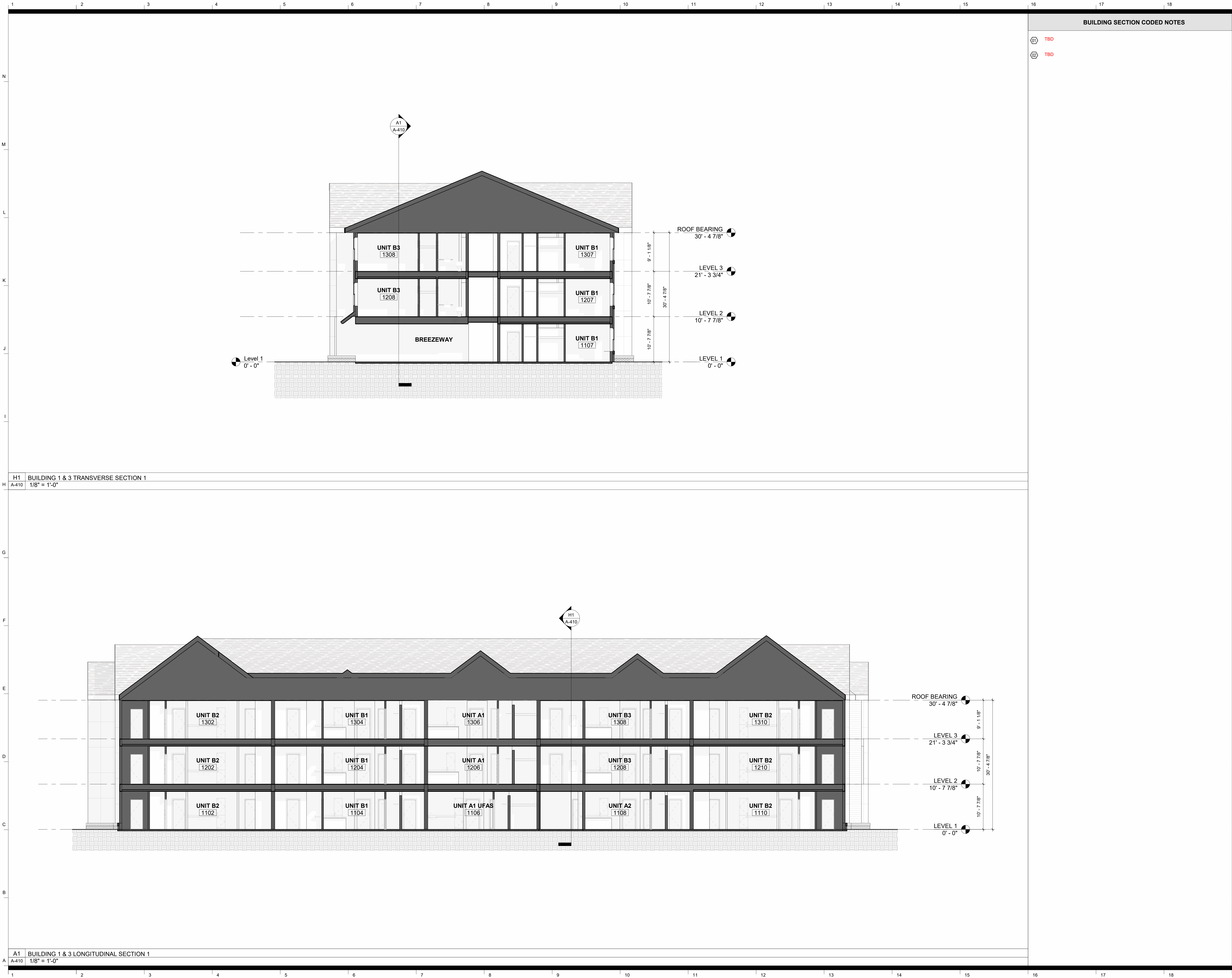
date 06/16/25
phase SCHEMATIC DESIGN
issued for
project number 24029

EXTERIOR ELEVATIONS - BUILDING 5

sheet number

A-350

6/20/2025 1:29:22 PM



BUILDING SECTION CODED NOTES

- 01 TBD
- 02 TBD

OLD
GREENVILLE
HIGHWAY
APARTMENTS

409 John Wesley
Dobbs Ave.



Owner
Mercy Housing Southeast
260 Peachtree St. Suite 1800
Atlanta, GA 30303
404.931.9801

Architect
Goode Van Slyke Architecture, LLC.
409 John Wesley Dobbs Avenue
Atlanta, GA 30312
404.523.5525

Civil Engineer
Kimley-Horn
607 Pendleton Street, Suite 100
Greenville, SC 29601
864.501.5724

Structural Engineer
Shear Structural
3411 Pierce Drive, Suite 100
Chamblee, GA 30341
678.664.8051

**Mechanical/Plumbing/Electrical
Fire Protection**
PGE: Phillips Gradick Engineering
8215 Roswell Rd, Suite 925
Atlanta, GA
770.650.9061

COPYRIGHT © 2024 GVSA

Key Plan

seal/signature

not for construction

rev date description

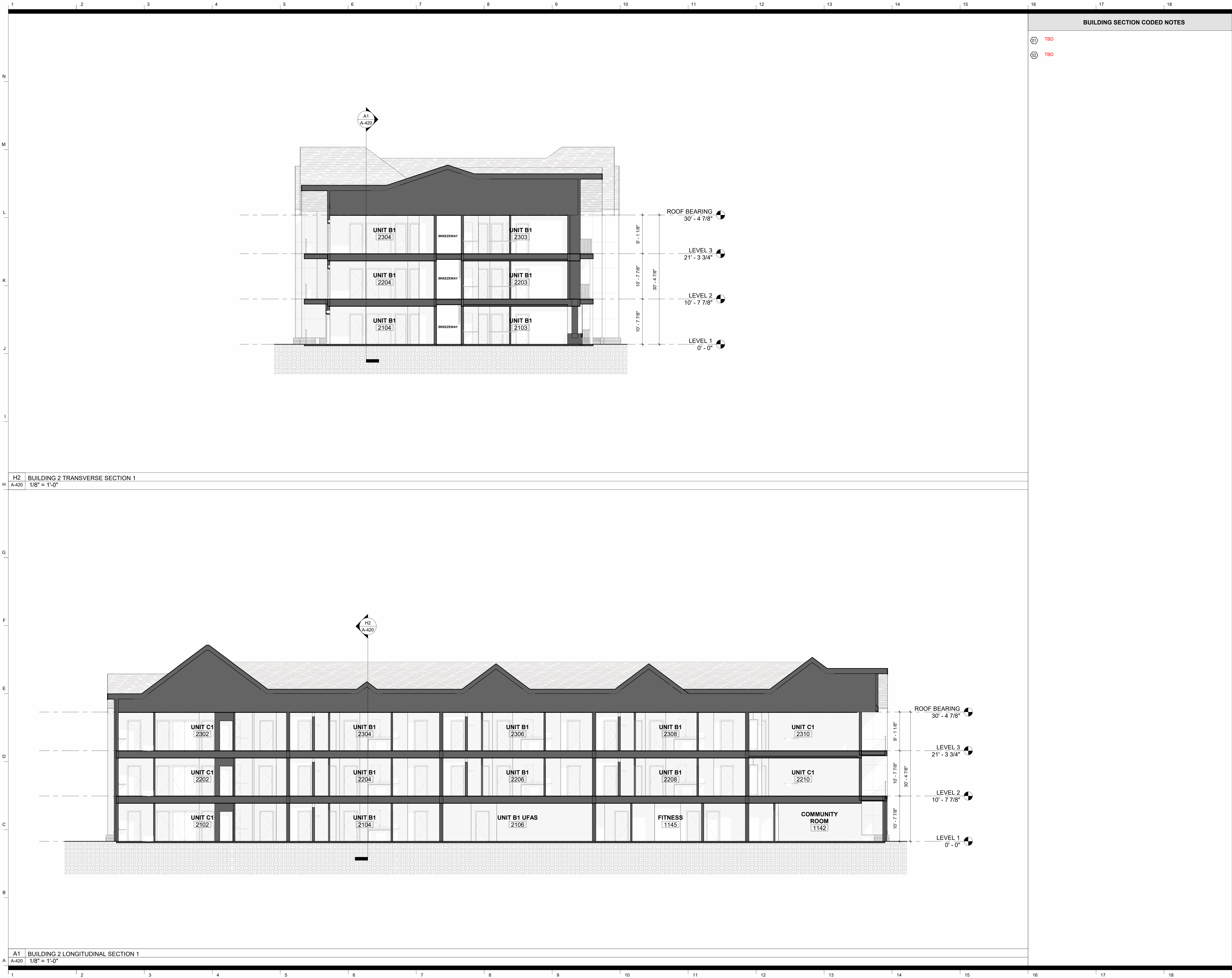
date 06/16/25
phase SCHEMATIC DESIGN
issued for REVIEW
project number 24029

BUILDING SECTIONS -
BUILDING 1 & 3

sheet number

A-410

6/20/2025 1:29:53 PM



BUILDING SECTION CODED NOTES

01 TBD
02 TBD

OLD
GREENVILLE
HIGHWAY
APARTMENTS

409 John Wesley
Dobbs Ave.



Owner
Mercy Housing Southeast
260 Peachtree St. Suite 1800
Atlanta, GA 30303
404.931.9801

Architect
Goode Van Slyke Architecture, LLC.
409 John Wesley Dobbs Avenue
Atlanta, GA 30312
404.523.5525

Civil Engineer
Kimley-Horn
607 Pendleton Street, Suite 100
Greenville, SC 29601
864.501.5724

Structural Engineer
Shear Structural
3411 Pierce Drive, Suite 100
Chamblee, GA 30341
678.664.8051

**Mechanical/Plumbing/Electrical
Fire Protection**
PGE: Phillips Gradick Engineering
8215 Roswell Rd, Suite 925
Atlanta, GA
770.650.9061

COPYRIGHT © 2024 GVSA

Key Plan

seal/signature

not for construction

rev date description

date 06/16/25
phase SCHEMATIC DESIGN
issued for
project number 24029

BUILDING SECTIONS -
BUILDING 2

sheet number

A-420

6/20/2025 1:30:23 PM



BUILDING SECTION CODED NOTES

01 TBD
02 TBD

OLD
GREENVILLE
HIGHWAY
APARTMENTS

409 John Wesley
Dobbs Ave.



Owner
Mercy Housing Southeast
260 Peachtree St. Suite 1800
Atlanta, GA 30303
404.931.9801

Architect
Goode Van Slyke Architecture, LLC.
409 John Wesley Dobbs Avenue
Atlanta, GA 30312
404.523.5525

Civil Engineer
Kimley-Horn
607 Pendleton Street, Suite 100
Greenville, SC 29601
864.501.5724

Structural Engineer
Shear Structural
3411 Pierce Drive, Suite 100
Chamblee, GA 30341
678.664.8051

**Mechanical/Plumbing/Electrical
Fire Protection**
PGE, Phillips Gradick Engineering
8215 Roswell Rd, Suite 925
Atlanta, GA
770.650.9061

COPYRIGHT © 2024 GVSA

Key Plan

seal/signature

not for construction

rev date description

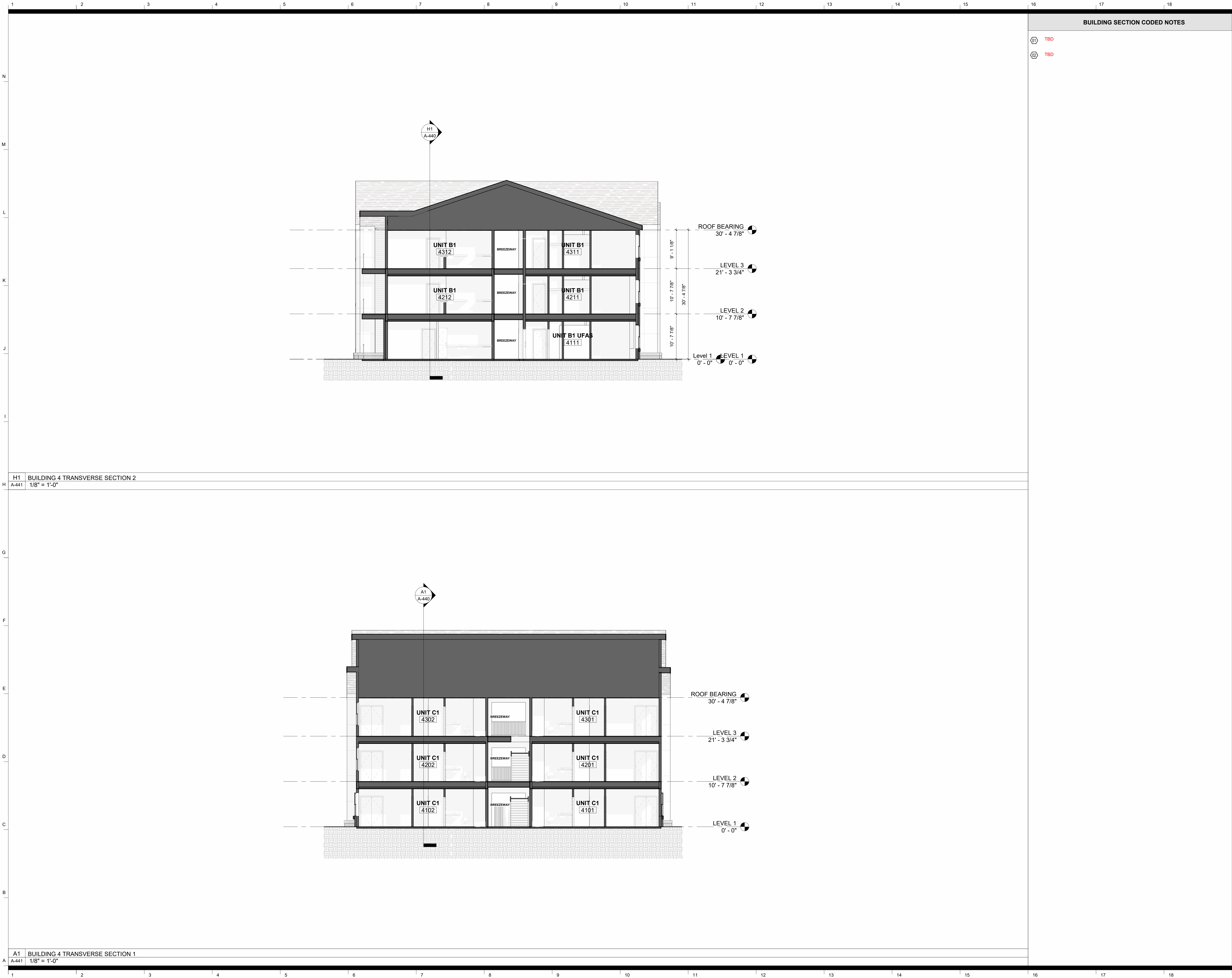
date 06/16/25
phase SCHEMATIC DESIGN
issued for
project number 24029

BUILDING SECTIONS -
BUILDING 4

sheet number

A-440

6/20/2025 1:30:47 PM



BUILDING SECTION CODED NOTES

- 01 TBD
02 TBD

OLD
GREENVILLE
HIGHWAY
APARTMENTS

409 John Wesley
Dobbs Ave.



Owner
Mercy Housing Southeast
260 Peachtree St. Suite 1800
Atlanta, GA 30303
404.931.9801

Architect
Goode Van Slyke Architecture, LLC.
409 John Wesley Dobbs Avenue
Atlanta, GA 30312
404.523.5525

Civil Engineer
Kimley-Horn
607 Pendleton Street, Suite 100
Greenville, SC 29601
864.501.5724

Structural Engineer
Shear Structural
3411 Pierce Drive, Suite 100
Chamblee, GA 30341
678.664.8051

**Mechanical/Plumbing/Electrical
Fire Protection**
PGE: Phillips Gradick Engineering
8215 Roswell Rd, Suite 925
Atlanta, GA
770.650.9061

COPYRIGHT © 2024 GVSA

Key Plan

seal/signature

not for construction

rev date description

date 06/16/25
phase SCHEMATIC DESIGN
issued for
project number 24029

BUILDING SECTIONS -
BUILDING 4

sheet number

A-441

6/20/2025 1:31:16 PM



BUILDING SECTION CODED NOTES

01 TBD
02 TBD

OLD
GREENVILLE
HIGHWAY
APARTMENTS

409 John Wesley
Dobbs Ave.



Owner
Mercy Housing Southeast
260 Peachtree St. Suite 1800
Atlanta, GA 30303
404.931.9801

Architect
Goode Van Slyke Architecture, LLC.
409 John Wesley Dobbs Avenue
Atlanta, GA 30312
404.523.5525

Civil Engineer
Kimley-Horn
607 Pendleton Street, Suite 100
Greenville, SC 29601
864.501.5724

Structural Engineer
Shear Structural
3411 Pierce Drive, Suite 100
Chamblee, GA 30341
678.664.8051

**Mechanical/Plumbing/Electrical
Fire Protection**
PGE: Phillips Gradick Engineering
8215 Roswell Rd, Suite 925
Atlanta, GA
770.650.9061

COPYRIGHT © 2024 GYSA

Key Plan

seal/signature

not for construction

rev date description

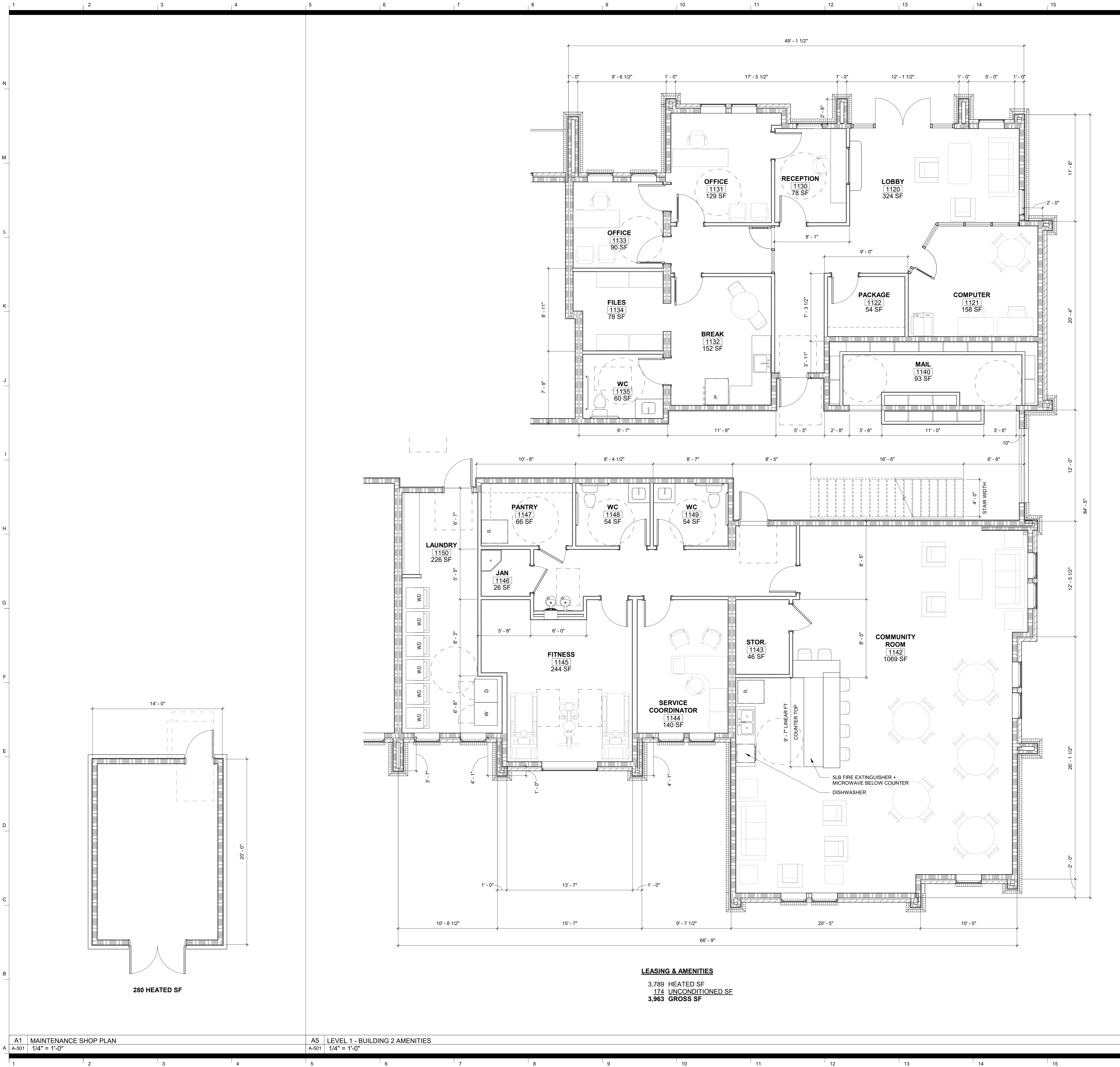
date 06/16/25
phase SCHEMATIC DESIGN
issued for
project number 24029

BUILDING SECTIONS -
BUILDING 5

sheet number

A-450

6/20/2025 4:55:32 PM



LEASING & AMENITIES

3,789 HEATED SF
174 UNCONDITIONED SF
3,963 GROSS SF

FLOOR PLAN GENERAL NOTES

- DO NOT SCALE DRAWINGS.
- THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION OF ALL CONDITIONS BEFORE PROCEEDING WITH ANY WORK. ALL DISCREPANCIES BETWEEN FIELD CONDITIONS AND DRAWINGS SHALL BE REPORTED TO ARCHITECT PRIOR TO PROCEEDING WITH WORK.
- SEE FLOOR PLANS & LIFE SAFETY PLANS FOR LOCATIONS OF FIRE RATED WALLS.
- ALL INTERIOR DIMENSIONS ARE TO FACE OF WALL (UNLESS NOTED OTHERWISE). ALL EXTERIOR DIMENSIONS ARE TO EXTERIOR FACE OF METAL STUD OR STRUCTURAL CMU (UNLESS NOTED OTHERWISE).
- SEE STRUCTURAL DRAWINGS FOR LOCATIONS OF ALL STEEL REINFORCING IN WALL & FLOOR CONSTRUCTION.
- SEE FINISH PLANS AND SPECIFICATIONS FOR ADDITIONAL INFORMATION OF LOCATIONS AND TYPES OF FINISH MATERIALS.
- SEE ELEVATIONS AND STRUCTURAL DRAWINGS FOR LOCATIONS OF EXPANSION & CONTROL JOINTS. CONTRACTOR SHALL PROVIDE ADDITIONAL INTERIOR CONTROL JOINTS AS REQUIRED TO COMPLY WITH MAXIMUM SPACING REQUIREMENTS IN SPECIFICATIONS AND NATIONAL MASONRY INSTITUTE.
- SEE ELECTRICAL & AV DRAWINGS FOR DATA & POWER OUTLETS. REFER TO MECHANICAL, ELECTRICAL AND PLUMBING DOCUMENTS FOR LOCATIONS OF ALL REQUIRED WALL AND CEILING ACCESS PANELS WHICH ARE NOT SHOWN ON THE ARCHITECTURAL DOCUMENTS.
- MECHANICAL & ELECTRICAL EQUIPMENT SHALL BE ON HOUSEKEEPING PADS. PADS ARE TO BE PROVIDED BY THE TRADE SUPPLYING THE EQUIPMENT. SEE MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION. WORK TO BE COORDINATED THROUGH THE GENERAL TRADES CONTRACTOR. PADS 4" MIN. 4" THICK W/W.W.F. (UNLESS NOTED OTHERWISE).
- ALL MOVEABLE FURNITURE AND EQUIPMENT TO BE SUPPLIED BY OWNER. PROVIDE BLOCKING IN WALLS TO SECURE ALL EQUIPMENT, ACCESSORIES, CASEWORK, MILLWORK, HANDRAILS, GRAB BARS, ETC AT ALL LOCATIONS SHOWN TO RECEIVE SUCH ITEMS. COORDINATE LOCATION OF STUDIOS IN BATHROOM AND OTHER CHASE WALLS WITH LOCATION OF MECHANICAL/PLUMBING EQUIPMENT TO ENSURE ADEQUATE CLEAR SPACE IS PROVIDED FOR DUCTWORK/PLUMBING.
- REFER TO ARCHITECTURAL DOOR CLEARANCES SHEET FOR REQUIREMENTS.
- LOCATE INSIDE EDGE OF DOOR FRAMES 4" FROM THE INTERSECTION OF ADJACENT WALL. TYP UNO.
- SEE DOOR SCHEDULE FOR TRANSOMS, SIDELIGHTS, BORROWED LIGHTS AND WINDOWS WHEN THE WINDOW FRAME IS PART OF THE DOOR FRAME.
- SPOT GRADES ARE SHOWN RELATIVE TO INTERIOR FINISHED FLOOR ELEVATION.

FLOOR PLAN LEGEND

- AC ACCESS CONTROL DOOR. COORDINATE WITH ELECTRICAL.
- PP PUSH PLATE FOR AUTOMATIC DOOR. SEE ELEC DWGS & DOOR SCHEDULE
- CR CARD READER; SEE ELECTRICAL DWGS
- HO HOLD OPEN DOORS; SEE ELECTRICAL DWGS

NAME

ROOM #
XXX SF ← ROOM SF IS FINISH TO FINISH (NET SF)

OLD GREENVILLE HIGHWAY APARTMENTS

409 John Wesley Dobbs Ave.



Owner

Mercy Housing Southeast
260 Peachtree St. Suite 1800
Atlanta, GA 30303
404.931.9801

Architect

Goode Van Slyke Architecture, LLC.
409 John Wesley Dobbs Avenue
Atlanta, GA 30312
404.523.5525

Civil Engineer

Kimley-Horn
607 Pendleton Street, Suite 100
Greenville, SC 29601
864.501.5724

Structural Engineer

Shear Structural
3411 Pierce Drive, Suite 100
Chamblee, GA 30341
678.664.8051

Mechanical/Plumbing/Electrical

Fire Protection
PGE: Phillips Gradick Engineering
8215 Roswell Rd, Suite 925
Atlanta, GA
770.650.9061

COPYRIGHT © 2024 GYSA

Key Plan

seal/signature

not for construction

rev date description

date 06/16/25
phase SCHEMATIC DESIGN
issued for
project number 24029

ENLARGED AMENITIES PLAN

sheet number

A-501

A1 MAINTENANCE SHOP PLAN
A-501 1/4" = 1'-0"

A5 LEVEL 1 - BUILDING 2 AMENITIES
A-501 1/4" = 1'-0"

409 John Wesley
Dobbs Ave.



Owner
Mercy Housing Southeast
260 Peachtree St. Suite 1800
Atlanta, GA 30303
404.931.9801

Architect
Goode Van Slyke Architecture, LLC
409 John Wesley Dobbs Avenue
Atlanta, GA 30312
404.523.5525

Civil Engineer
Kimley-Horn
607 Pendleton Street, Suite 100
Greenville, SC 29601
864.501.5724

Structural Engineer
Shear Structural
3411 Pierce Drive, Suite 100
Chamblee, GA 30341
678.664.8051

**Mechanical/Plumbing/Electrical
Fire Protection**
PGE; Phillips Gradick Engineering
8215 Roswell Rd, Suite 925
Atlanta, GA
770.650.9061

COPYRIGHT © 2024 GVSA

Key Plan

seal/signature

not for construction

rev	date	description
-----	------	-------------

date	06/16/25
phase	SCHEMATIC DESIGN
issued for	
project number	24029

UNIT SCHEDULE

sheet number

A-520

		UNIT COUNT																	
		BUILDING 1			BUILDING 2			BUILDING 3			BUILDING 4			BUILDING 5					
		LEVEL 1	LEVEL 2	LEVEL 3	LEVEL 1	LEVEL 2	LEVEL 3	LEVEL 1	LEVEL 2	LEVEL 3	LEVEL 1	LEVEL 2	LEVEL 3	LEVEL 1	LEVEL 2	LEVEL 3			
1 BEDROOM UNIT TYPES																			
A1		1	2	2				1	2	2	4	4	4	2	2	2		28	
A1 UFAS		1						1										2	
A2		1			2			1			1			1				6	
2 BEDROOM UNIT TYPES																		36	1 BD
B1		3	3	3	2	4	4	3	3	3	4	6	6	2	4	4		54	
B1 UFAS					1						2			2				5	
B2		2	2	2				2	2	2				4	4	4		24	
B3			1	1		2	2	0	1	1		1	1		1	1		12	
B4											1	1	1					3	
3 BEDROOM UNIT TYPES																		98	2 BD
C1		1	1	1	2	4	4	1	1	1	4	4	4					28	
C1.1			1	1					1	1								4	
C1 UFAS		1						1										2	
TOTAL (PER LEVEL)		10	10	10	7	10	10	10	10	10	16	16	16	11	11	11		34	3 BD
TOTAL (PER BUILDING)		30			27			30			48			33				168	TOTAL UNITS

GROSS AREA - UNIT A1	
AREA	SQUARE FOOTAGE

UNIT A1 (HEATED)	755 SF
UNIT A1 (OCCUPIABLE BALCONY)	66 SF
	821 SF

GROSS AREA - UNIT A1 UFAS	
AREA	SQUARE FOOTAGE

UNIT A1 UFAS (HEATED)	755 SF
UNIT A1 UFAS (OCCUPIABLE BALCONY)	66 SF

GROSS AREA - UNIT A2	
AREA	SQUARE FOOTAGE

UNIT A2 (HEATED)	750 SF
UNIT A2 (OCCUPIABLE BALCONY)	65 SF
	815 SF

GROSS AREA - UNIT B1

AREA	SQUARE FOOTAGE
UNIT B1 (HEATED)	967 SF

UNIT B1 (OCCUPIABLE BALCONY)	69 SF
1036 SF	

GROSS AREA - UNIT B1 UFAS	
100	100

UNIT B1 UFAS (HEATED)	967 SF
UNIT B1 UFAS (HEATED)	967 SF

BALCONY)	1043 SF
----------	---------

GROSS AREA - UNIT B2	
AREA	SQUARE FOOTAGE

UNIT B2 (HEATED)	1009 SF
UNIT B2 (OCCUPIABLE BALCONY)	68 SF

GROSS AREA - UNIT B3

AREA	SQUARE FOOTAGE
UNIT B3 (HEATED)	1013 SF

UNIT B3 (OCCUPIABLE BALCONY)	67 SF
	1080 SF

GROSS AREA - UNIT B4

AREA TYPE	AREA
UNIT B4 (HEATED)	998 SF
UNIT B4 (OCCUPYABLE)	70 SF

BALCONY)	1075 SF

GROSS AREA - UNIT C1	
AREA	SQUARE FOOTAGE

UNIT C1 (HEATED)	1169 SF
UNIT C1 (OCCUPIABLE BALCONY)	67 SF
	1236 SF

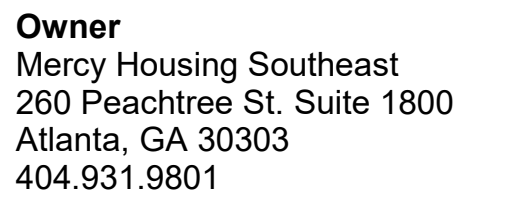
GROSS AREA - UNIT C1.1

UNIT C1.1 (HEATED)	1210 SF
UNIT C1.1 (OCCUPIABLE)	65 SF

DALECONT)	1274 SF
-----------	---------

GROSS AREA - UNIT C1 UFAS	
AREA	SQUARE FOOTAGE

UNIT C1 UFAS (HEATED)	1210 SF
UNIT C1 UFAS (OCCUPIABLE BALCONY)	65 SF
	1274 SF



Architect
Goode Van Slyke Architecture, LLC
409 John Wesley Dobbs Avenue
Atlanta, GA 30312
404.523.5525

Civil Engineer
Kimley-Horn
607 Pendleton Street, Suite 100
Greenville, SC 29601
864.501.5724

Structural Engineer
Shear Structural
3411 Pierce Drive, Suite 100
Chamblee, GA 30341
678.664.8051

**Mechanical/Plumbing/Electrical
Fire Protection**
PGE; Phillips Gradick Engineering
8215 Roswell Rd, Suite 925
Atlanta, GA
770.650.9061

COPYRIGHT © 2024 GVSA

Key Plan

seal/signature

not for construction

rev	date	description
-----	------	-------------

date	06/16/25
phase	SCHEMATIC DESIGN
issued for	
project number	24029

UNIT TYPE - A1

sheet number

A-521

30' - 11"

14' - 3 1/2"

7' - 1 1/2"

7' - 6"

2' - 0"

1' - 11 3/4"

5' - 6 3/4"

5' - 0"

28' - 6"

13' - 1"

BALCONY
66 SF

PRIMARY BEDROOM
147 SF

LIVING ROOM
202 SF

7' - 4"

3' - 6"

KITCHEN COUNTER
15' 11" LINEAR FEET

DW

R.

PAN.

D

W

B

T

S

13' - 11 1/2"

409 John Wesley
Dobbs Ave.



Owner
Mercy Housing Southeast
260 Peachtree St. Suite 1800
Atlanta, GA 30303
404.931.9801

Architect
Goode Van Slyke Architecture, LLC
409 John Wesley Dobbs Avenue
Atlanta, GA 30312
404.523.5525

Civil Engineer
Kimley-Horn
607 Pendleton Street, Suite 100
Greenville, SC 29601
864.501.5724

Structural Engineer
Shear Structural
3411 Pierce Drive, Suite 100
Chamblee, GA 30341
678.664.8051

**Mechanical/Plumbing/Electrical
Fire Protection**
PGE; Phillips Gradick Engineering
8215 Roswell Rd, Suite 925
Atlanta, GA
770.650.9061

COPYRIGHT © 2024 GVSA

Key Plan

seal/signature

not for construction

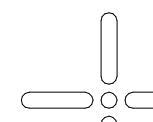

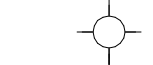


rev	date	description
-----	------	-------------

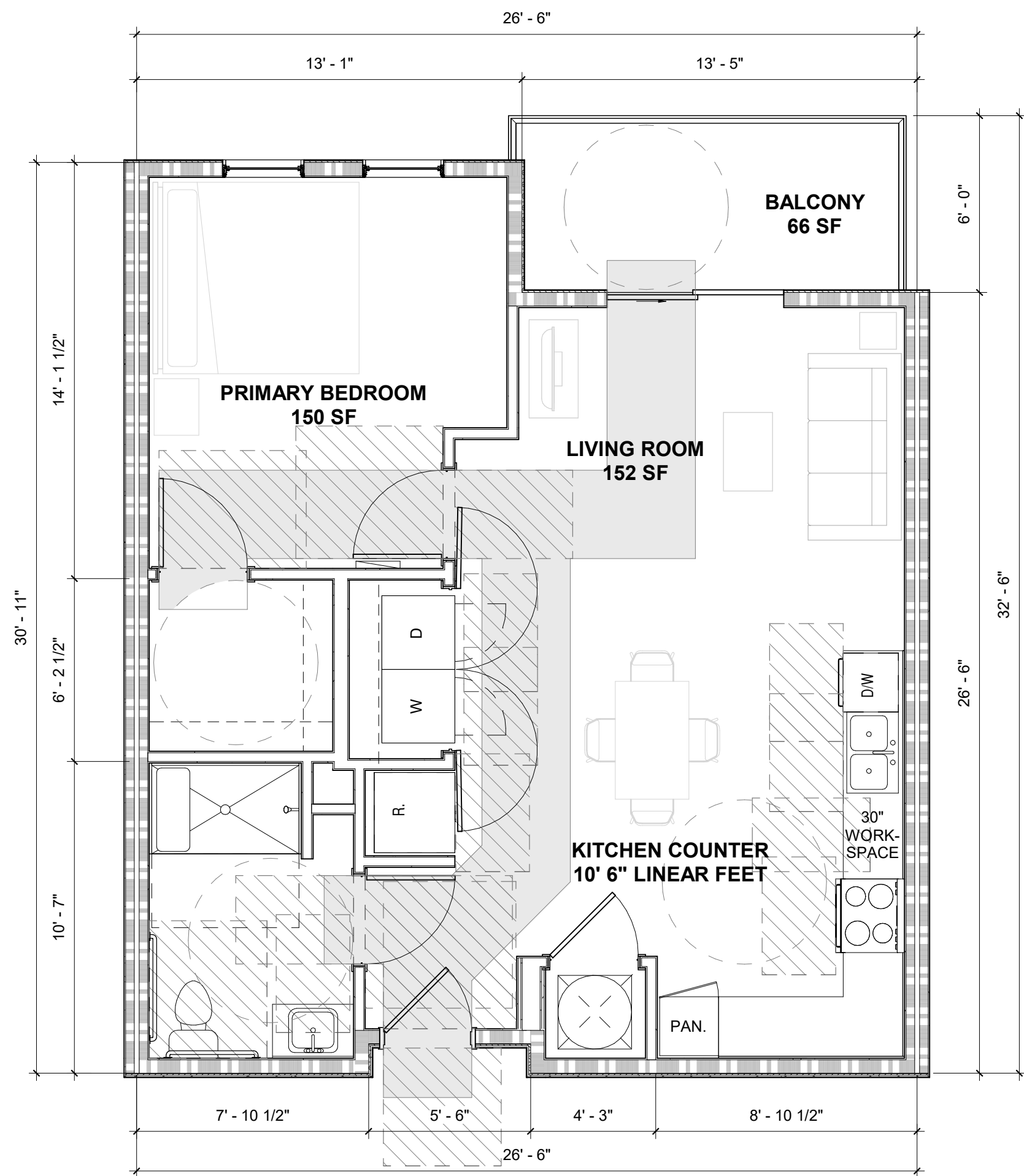
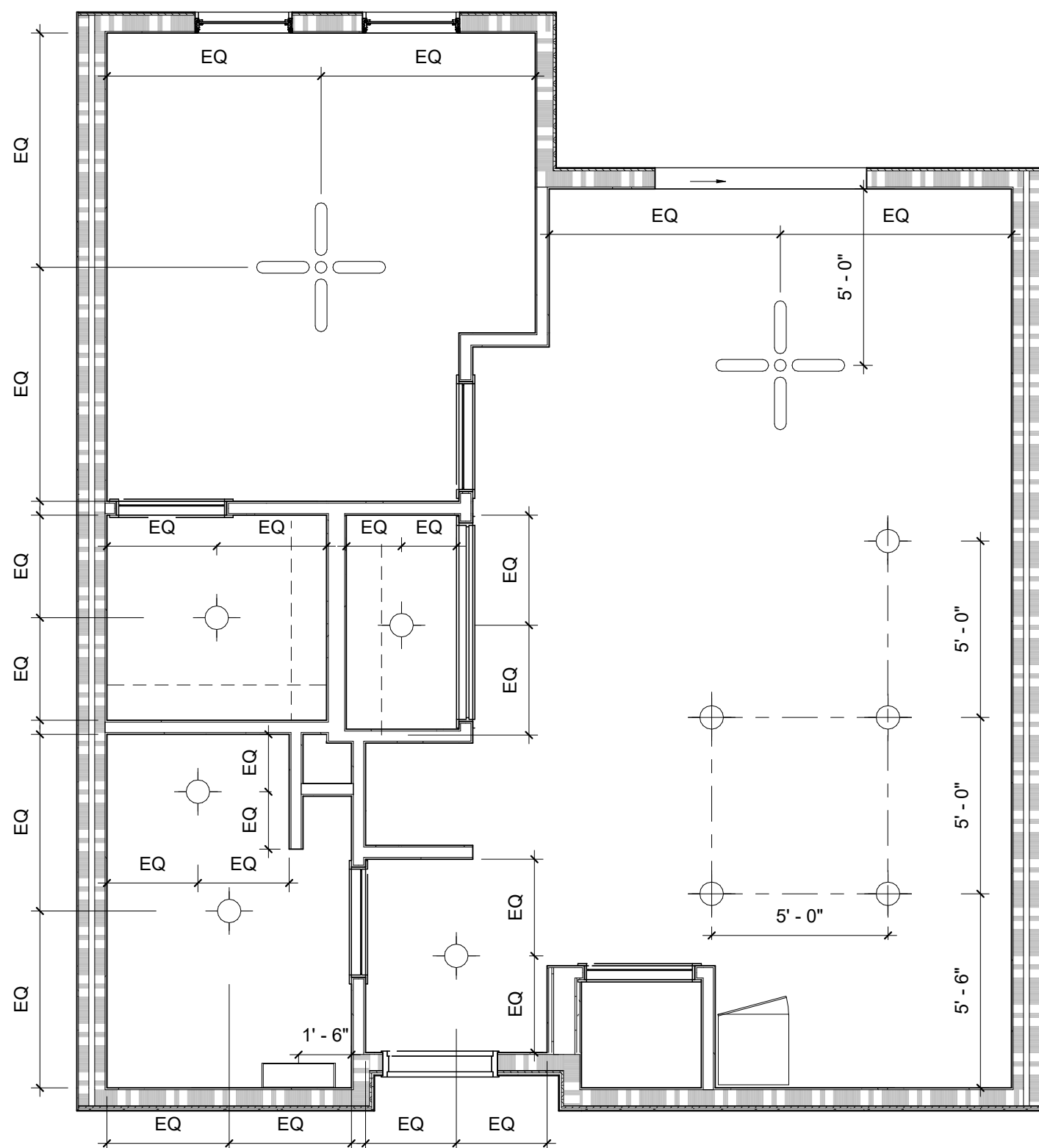
date	06/16/25
phase	SCHEMATIC DESIGN
issued for	
project number	24029

UNIT TYPE - A1 - UFAS

sheet number

A-522

UNIT LEGEND		GENERAL UNIT NOTES									
COAT	14" DEEP SHELF W/ ROD	1.	ALL UNIT INTERIOR PARTITIONS TO BE TYPE (G4) U.N.O.								
DHE	DUCTED RANGE HOOD EXHAUST	2.	ALL DIMENSIONS ARE TO THE FACE OF STUD, U.N.O.								
DW	DISHWASHER	3.	UNIT PARTY WALLS AND FLOOR ASSEMBLIES REQUIRE SOUND PROOFING (SOUND BATT INSULATION) TO ACHIEVE A RATING OF STC 54.								
DW-A	ACCESSIBLE DISHWASHER	4.	LVT IN UNITS TO HAVE A MINIMUM 12 MIL WEAR LAYER AND PROVIDE A 15 - YEAR RESIDENTIAL WARRANTY. LVT INSTALLED IN KITCHENS, BATHROOMS, MECHANICAL CLOSETS, DINING AREAS, FOYER AND LAUNDRY AREAS MUST BE RESILIENT FLOORING LVT. SHOE MOLD MUST BE INSTALLED IN RESILIENT FLOORING AREAS.								
EP	ELECTRICAL PANEL	5.	PLASTIC LAMINATE MATERIAL MUST BE INSTALLED THE FULL WIDTH AND DEPTH ON THE BOTTOM SHELF OF VANITY SINK AND KITCHEN SINK CABINETS AND MUST BE CAULKED / SEALED AROUND THE FULL PERIMETER TO ALL CABINET SIDES TO PREVENT WATER/MOISTURE PENETRATION.								
GB/GBF	GRAB BAR / FOLDING GRAB BAR	6.	KITCHEN COUNTERTOPS MUST BE CONSTRUCTED OF 3/4" PLYWOOD BASE WITH LAMINATE TOP OR SOLID SURFACE MATERIAL. NO PARTICLE BOARD, PRESS BOARD, OR FIBER BOARD WILL BE ALLOWED.								
KS	KITCHEN SINK	7.	ALL OPEN VOIDS ABOVE AND BELOW UPPER AND LOWER KITCHEN CABINETS SHALL BE SEALED WITH CAULK OR MATCHING MATERIAL. FINISH AND ALL CABINETS SHALL BE CAULKED WHERE CABINET MEETS A WALL SURFACE TO PREVENT PEST INFESTATION. NO OPEN VOIDS MUST BE ALLOWED. ALL OPEN VOIDS/HOLES IN CABINET BACKS MUST BE SEALED WITH MATCHING CABINED MATERIAL. CAULK, OR EXPANDABLE FOAM AND ALL PIPE PENETRATIONS MUST BE COVERED WITH AN ESCUTCHEON.								
KS-A	KITCHEN SINK (UFAS UNITS)	8.	KITCHEN CABINETS MUST BE PROVIDED ABOVE AND BELOW COUNTERTOPS. CABINETS SHALL BE CONSTRUCTED WITH SOLID WOOD OR PLYWOOD BOXES, STILES, RAILS, DOORS, AND DRAWER FRONTS. ALL CABINETS WILL CONFORM TO THE PERFORMANCE AND FABRICATION REQUIREMENTS OF HUD SEVERE USE AND ANSIS/KCMA A161.1 AND BEAR THE KCMA CERTIFICATION SEAL. NO PARTICLE BOARD, PRESS BOARD OR FIBER BOARD WILL BE ALLOWED.								
LAV	VANITY SINK	9.	ALL WINDOWS SHOULD BE VINYL, AND HAVE NON-METAL BLINDS. ALL SLIDING WINDOWS ARE PROHIBITED.								
LAV-A	VANITY SINK (UFAS UNITS)	10.	ALL UNITS MUST BE PRE-WIRED FOR HIGH SPEED INTERNET, PHONE, AND DATA HOOK-UP WITH ONE CENTRALLY LOCATED CONNECTION POINT WITHIN THE UNIT WITH CAPABILITIES IN THE LIVING ROOM AND EACH BEDROOM. CABLE OUTLETS MUST BE PROVIDED IN THE MAIN LIVING AREA AND IN ALL BEDROOMS. PROVIDE ONE INTERNET ROUTER OUTLET.								
MI	WALL MOUNTED MIRROR W/ FRAME	11.	ALL WATERHEATER TANKS MUST BE PLACED IN AN OVERFLOW PAN PIPED TO THE EXTERIOR OF THE BUILDING, REGARDLESS OF LOCATION AND FLOOR LEVEL, UNLESS A PRIMED P-TRAP IS INSTALLED. THE TEMPERATURE AND RELIEF VALVE MUST ALSO BE PIPED TO THE EXTERIOR. WATER HEATERS MUST BE PLACED IN CLOSETS TO ALLOW FOR THEIR REMOVAL AND INSPECTION BY OR THROUGH THE CLOSET DOOR. WATER HEATERS MAY NOT BE INSTALLED OVER THE CLOTHES WASHER OR DRYER SPACE.								
MI-A	FRAMELESS WALL MOUNTED MIRROR	12.	TUB SHOWER UNITS MUST BE 32" x 60" MIN FIBERGLASS BASED UNITS WITH SLIP RESISTANT FLOORS.								
MP	MEDIA PANEL	13.	ALL DWELLINGS UNITS SHALL HAVE WASHER/DRYER HOOKUPS. WASHER DRYER TO BE PROVIDED BY TENANT.								
MW	MICROWAVE W/ INTEGRAL DUCTED EXHAUST	14.	ALL APPLIANCES MUST MEET ENERGY STAR STANDARDS PER SCH GUIDELINES.								
MW-A	COUNTERTOP MICROWAVE	15.	CEILING FANS AND LIGHT FIXTURES TO BE CENTERED IN ROOM AND MEET ENERGY STAR STANDARDS PER SCH GUIDELINES.								
PAN.	24" WIDE FULL HEIGHT CASEWORK PANTRY	16.	ALL WET WALLS TO RECEIVE MOISTURE RESISTANT BACKER BOARD.								
REF	REFRIGERATOR	17.	SEE SHEET A-XXX FOR UNIT FINISHES, PLUMBING ACCESSORIES, AND PLUMBING FIXTURE SCHEDULES								
RG	RANGE	18.	LEVEL 4 GYPSUM BOARD FINISH ON ALL WALLS; SMOOTH CEILING FOR ALL CEILINGS - NO TEXTURE OR POPCORN CEILINGS								
RG-A	ACCESSIBLE RANGE	19.	ALL UNITS TO HAVE POWDER-BASED STOVETOP FIRE SUPPRESSION CANISTERS INSTALLED ABOVE THE RANGE COOK TOP.								
SH-1	36" x 60" CURBLESS SHOWER PAN	20.	PROVIDE BLOCKING AS NEEDED TO INSTALL ALL GRAB BARS SHOWN IN SCOPE AND FOR ANY FUTURE UNIT CONVERSIONS PER FHA.								
TB	TILE BASE										
TH	TOWEL HOOK										
TU	TUB										
TW	TOWEL BAR - 18 OR 24 INCHES										
W & D	WASHER / DRYER HOOK-UPS, SEE MECH										
WH	WATER HEATER BELOW AIR HANDLING UNIT										
NOTES:											
1. SEE ID KEY FOR PLUMBING ACCESSORIES, UNIT FINISH, LIGHTING FIXTURE, AND CABINET HARDWARE SCHEDULES											
2. SEE PLUMBING FOR PLUMBING FIXTURE SCHEDULE											
3. APPLIANCE PACKAGE BY OWNER											
UNIT RCP LEGEND											
	CF - CEILING FAN/LIGHT COMBO, SWITCHED @ WALL										
	EF - EXHAUST FAN/LIGHT COMBO, SWITCH ON TIMER OR TIED TO HUMIDISTAT										
	S1 - SURFACE MOUNTED DISK LIGHT										
	S2 - SURFACE MOUNTED DISK LIGHT, WET-RATED										
	W1 - VANITY WALL MOUNTED LIGHT										
<table><tr><th colspan="2">GROSS AREA - UNIT A1 UFAS</th></tr><tr><th>AREA</th><th>SQUARE FOOTAGE</th></tr><tr><td>UNIT A1 UFAS (HEATED)</td><td>756 SF</td></tr><tr><td>UNIT A1 UFAS (OCCUPIABLE BALCONY)</td><td>66 SF</td></tr></table>		GROSS AREA - UNIT A1 UFAS		AREA	SQUARE FOOTAGE	UNIT A1 UFAS (HEATED)	756 SF	UNIT A1 UFAS (OCCUPIABLE BALCONY)	66 SF		
GROSS AREA - UNIT A1 UFAS											
AREA	SQUARE FOOTAGE										
UNIT A1 UFAS (HEATED)	756 SF										
UNIT A1 UFAS (OCCUPIABLE BALCONY)	66 SF										
821 SF											



PRIMARY BEDROOM
165 SF

LIVING ROOM
185 SF

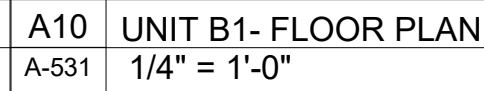
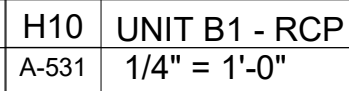
KITCHEN COUNTER
14' 9" LINEAR FEET

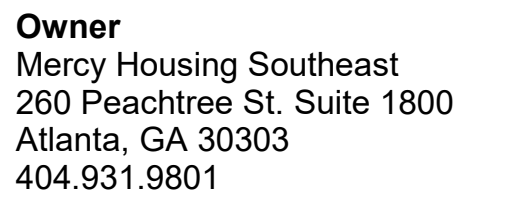
BALCONY
65 SF

The floor plan shows a rectangular layout. The Primary Bedroom is at the top left, containing a bed and a closet. The Living Room is at the top right, featuring a sofa and a coffee table. The Kitchen Counter is at the bottom right, equipped with a sink, stove, and refrigerator. A bathroom is located at the bottom left, and a balcony is at the top right. The plan also includes a central hallway and a dining area.

Floor Plan Details:

- Overall Dimensions:** 36' - 0" (width) x 27' - 11" (depth).
- Rooms and Areas:**
 - BEDROOM:** 121 SF
 - BALCONY:** 69 SF
 - LIVING ROOM:** 154 SF
 - PRIMARY BEDROOM:** 154 SF
 - KITCHEN COUNTER:** 14'4" LINEAR FEET
 - BATHROOM:** 5' - 5"
 - BREAKFAST ROOM:** 5' - 0"
 - DINING ROOM:** 9' - 7 1/2"
 - KITCHEN:** 8' - 2 1/8"
 - PORCH:** 5' - 6 3/4"
- Other Features:**
 - Front Porch: 5' - 6 3/4" x 36' - 0"
 - Back Porch: 10' - 8 1/2" x 36' - 0"
 - Walk-in Closet (W.C.) in Primary Bedroom
 - Fireplace in Living Room
 - Stove, Sink, Dishwasher (D.W.), and Refrigerator (R.) in Kitchen
 - Tub and Shower in Bathroom
 - Toilet in Bathroom





Architect
Goode Van Slyke Architecture, LLC
409 John Wesley Dobbs Avenue
Atlanta, GA 30312
404.523.5525

Civil Engineer
Kimley-Horn
607 Pendleton Street, Suite 100
Greenville, SC 29601
864.501.5724

Structural Engineer
Shear Structural
3411 Pierce Drive, Suite 100
Chamblee, GA 30341
678.664.8051

**Mechanical/Plumbing/Electrical
Fire Protection**
PGE; Phillips Gradick Engineering
8215 Roswell Rd, Suite 925
Atlanta, GA
770.650.9061

COPYRIGHT © 2024 GVSA

Key Plan

seal/signature

not for construction

rev	date	description
-----	------	-------------

date 06/16/25

phase SCHEMATIC DESIGN

issued for

project number 24029

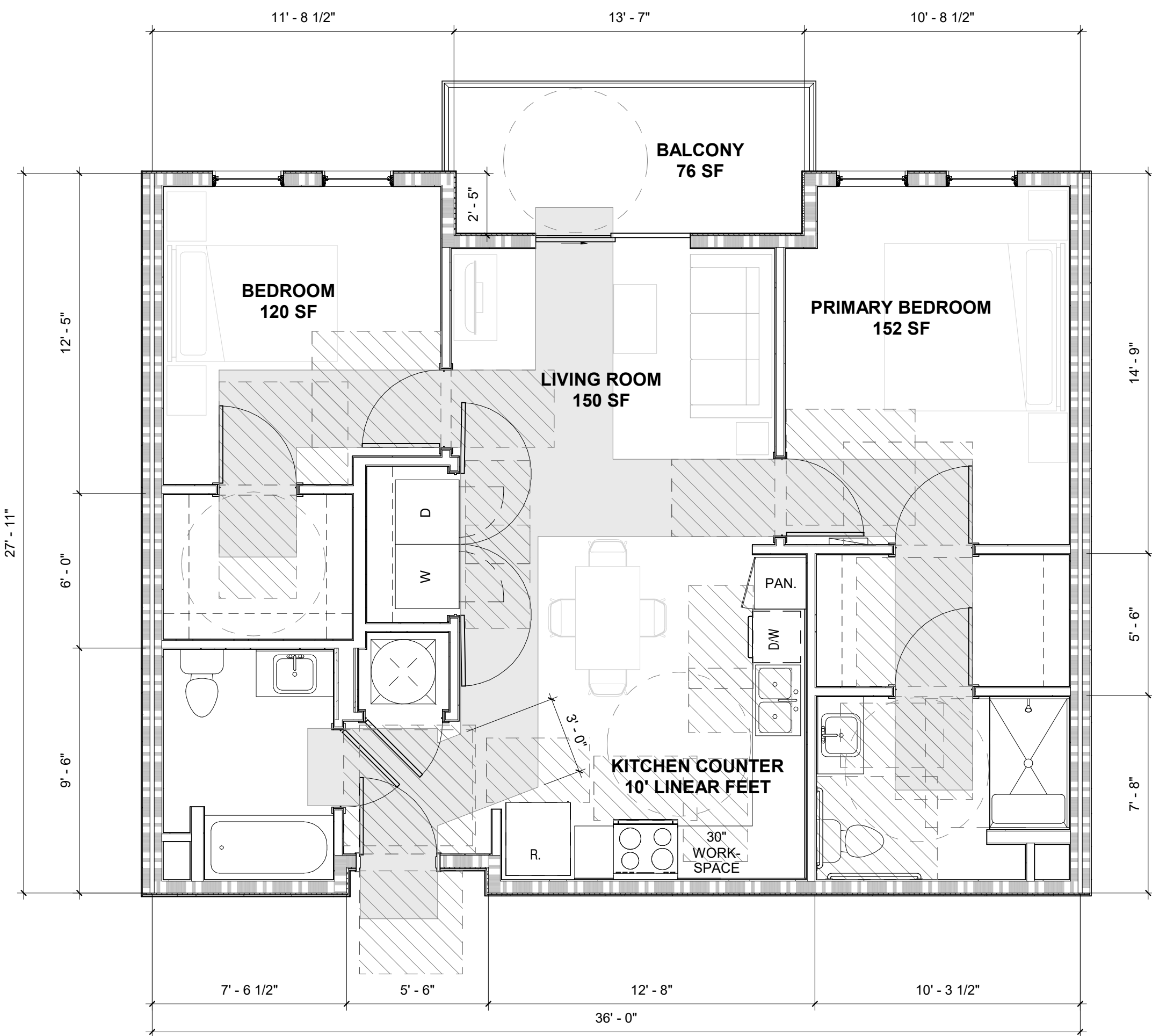
UNIT TYPE - B1 - UFAS

sheet number

A-532

The floor plan illustrates a townhome unit with the following features and dimensions:

- Overall Dimensions:** 13' - 7" wide by 36' - 0" deep.
- Balcony:** 76 SF, located at the rear of the unit.
- Primary Bedroom:** 152 SF, featuring a large bed and a closet.
- Living Room:** 150 SF, including a fireplace and access to the balcony.
- Kitchen:** Features a 10' linear counter, a 30" work space, and a kitchen island.
- Bathroom:** Includes a tub/shower, toilet, and vanity.
- Storage:** Includes a linen closet (L.C.), a broom closet (B.C.), and a closet (C.).
- Other Features:** A fireplace (F.), a range hood (P.A.N.), a dishwasher (D.W.), and a refrigerator (R.).



1	UNIT B1 UFAS - RCP
A-532	1/4" = 1'-0"

2	UNIT B1 UFAS - FLOOR PLAN
A-532	1/4" = 1'-0"

6/19/2025 12:11:59 PM

H10 | UNIT B2 - RCP
A-533 1/4" = 1'-0"

A10 | UNIT B2- FLOOR PLAN
A-533 1/4" = 1'-0"

UNIT TYPE - B2

sheet number

A-533

date 06/16/25
phase SCHEMATIC DESIGN
issued for
project number 24029

rev date description

seal/signature

Key Plan

COPYRIGHT © 2024 GYSA

Mechanical/Plumbing/Electrical Fire Protection
PGE: Phillips Gradick Engineering
8215 Roswell Rd, Suite 925
Atlanta, GA 770.650.9061

Civil Engineer
Kimley-Horn
607 Pendleton Street, Suite 100
Greenville, SC 29601
864.501.5724

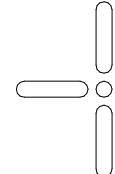




Architect
Goode Van Slyke Architecture, LLC.
409 John Wesley Dobbs Avenue
Atlanta, GA 30312
404.523.5525

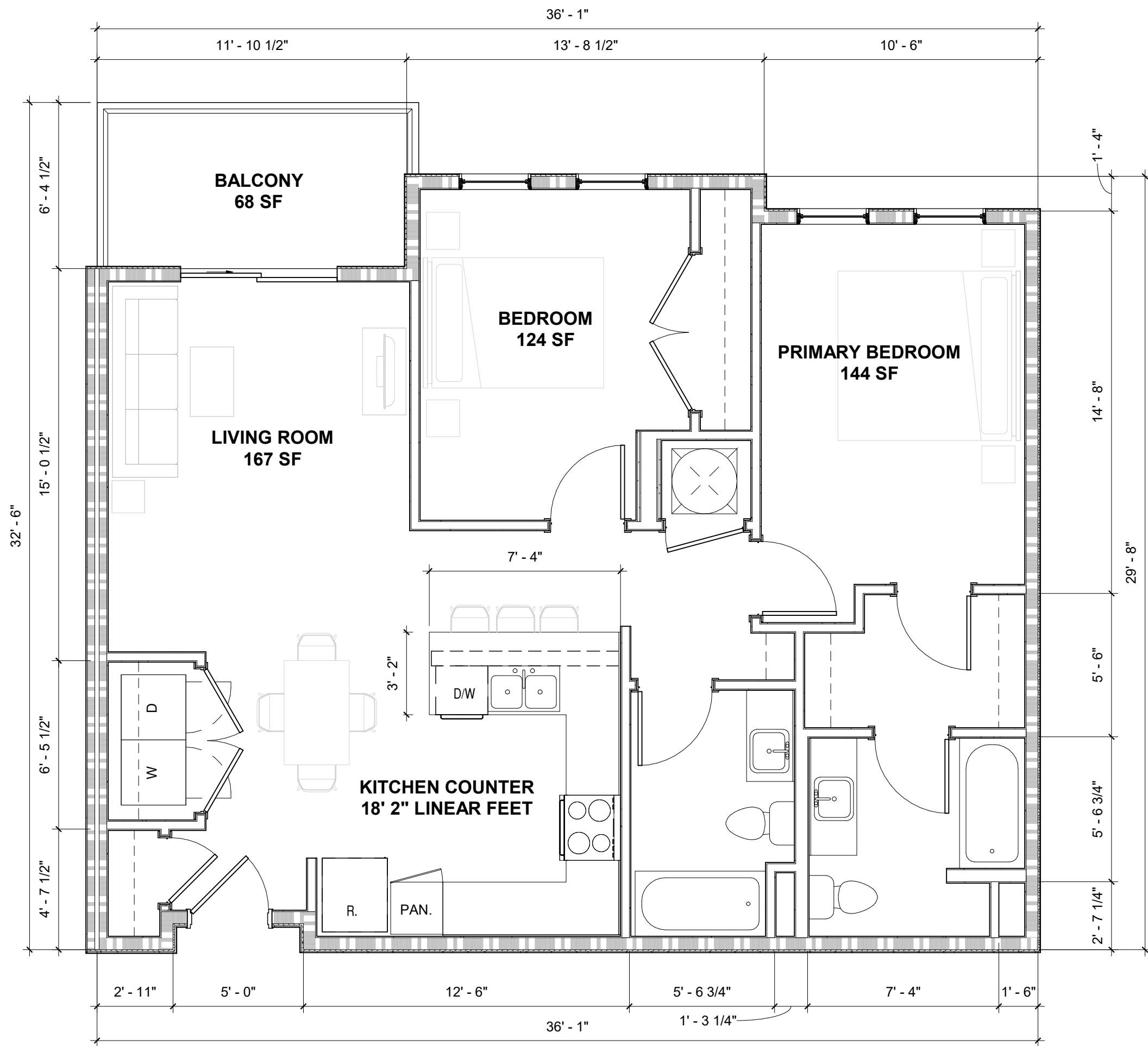
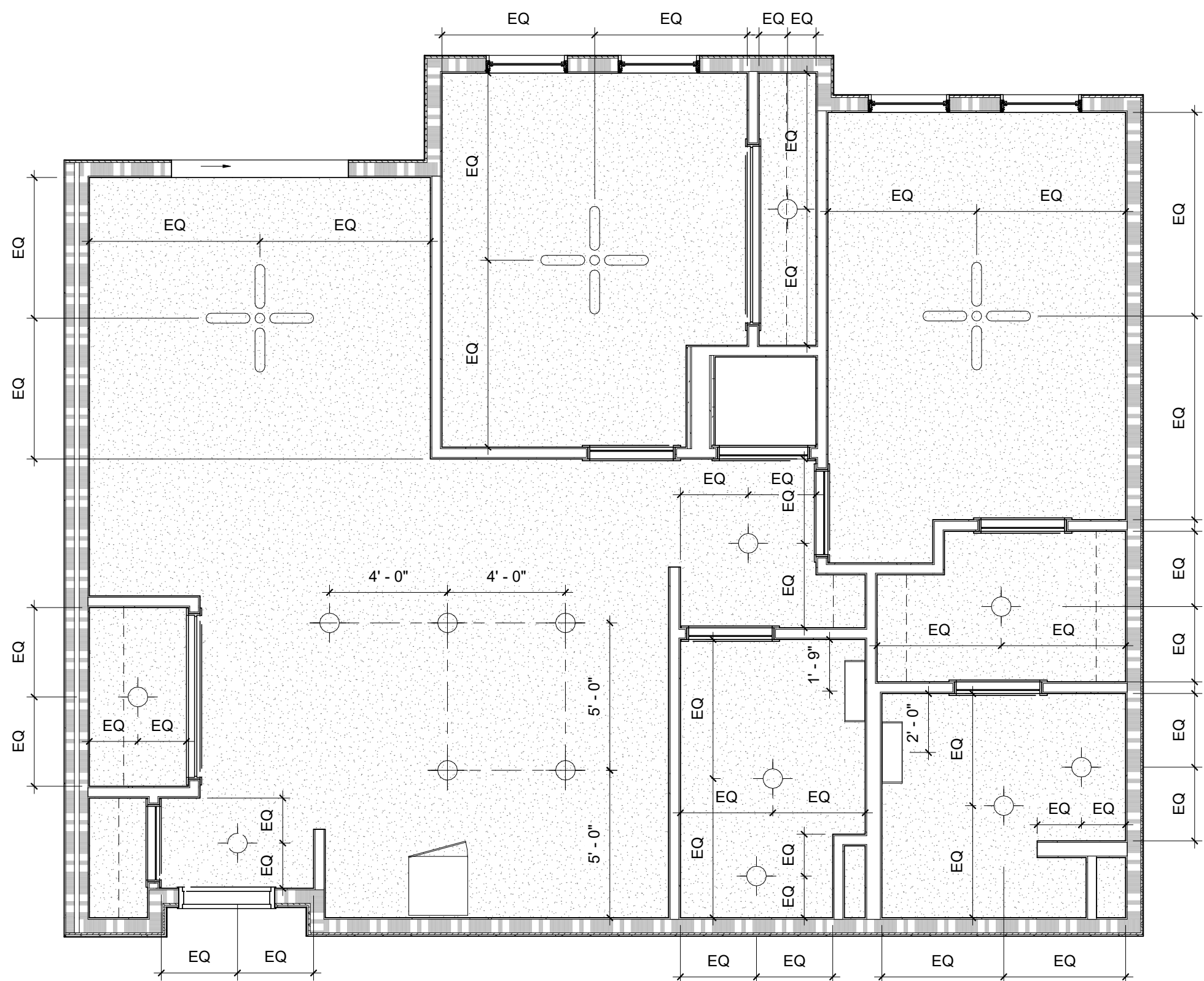
Owner
Mercy Housing Southeast
260 Peachtree St. Suite 1800
Atlanta, GA 30303
404.931.9801

Goode Van Slyke Architecture

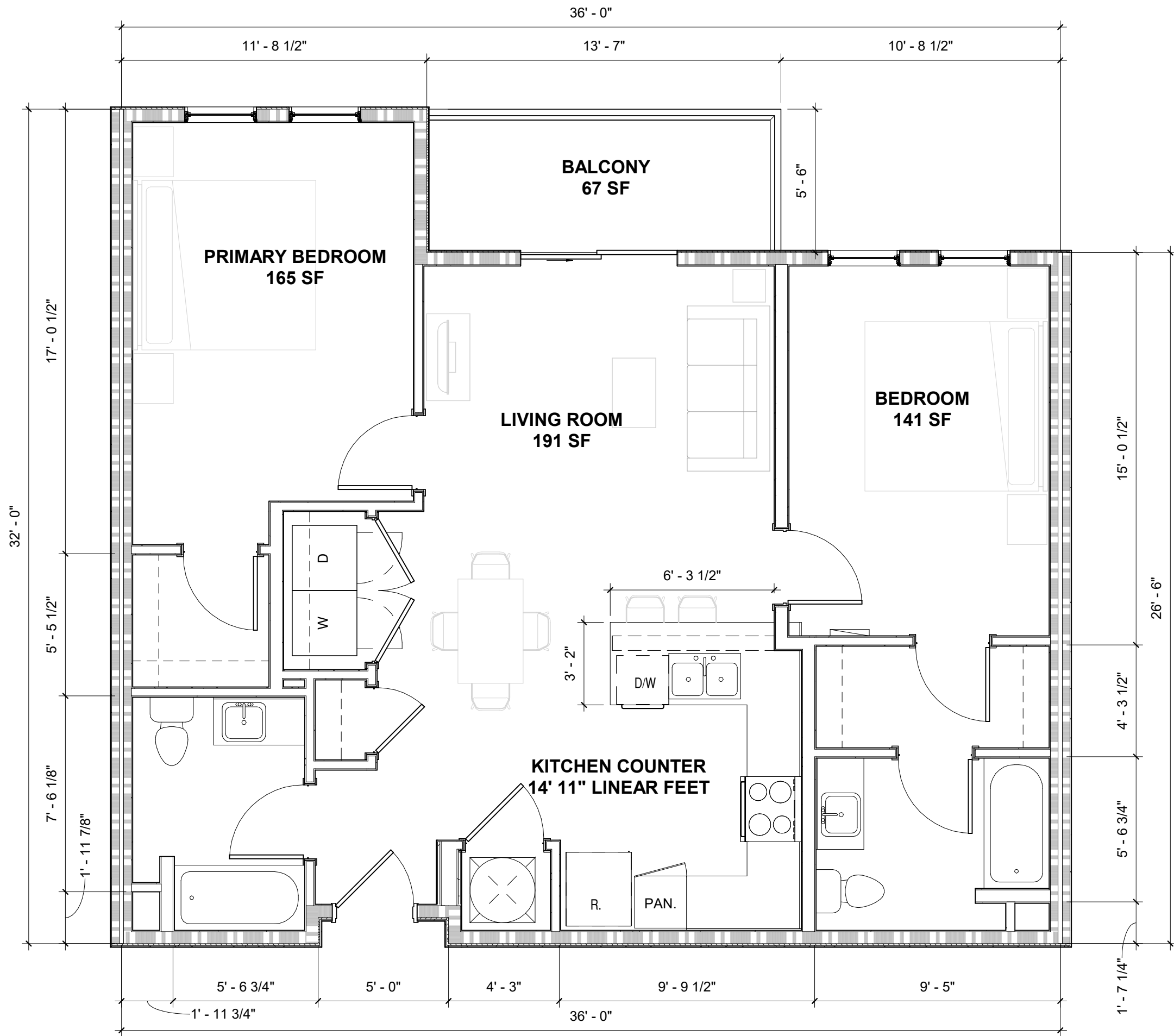
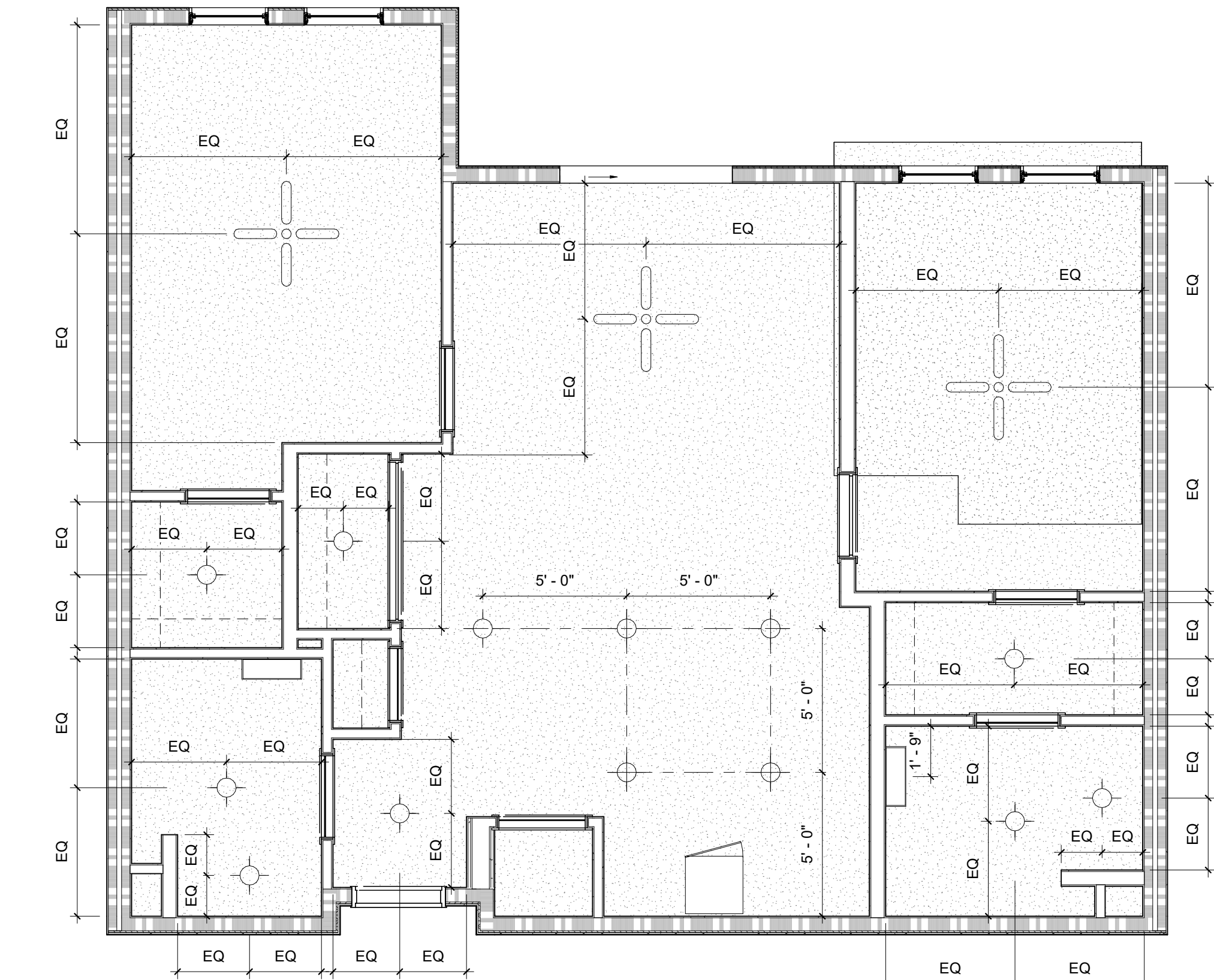
409 John Wesley
Dobbs Ave.

OLD
GREENVILLE
HIGHWAY
APARTMENTS

UNIT LEGEND		GENERAL UNIT NOTES									
COAT	14" DEEP SHELF W/ ROD	1. ALL UNIT INTERIOR PARTITIONS TO BE TYPE (G4) U.N.O. 2. ALL DIMENSIONS ARE TO THE FACE OF STUD, U.N.O. 3. UNIT PARTY WALLS AND FLOOR ASSEMBLIES REQUIRE SOUND PROOFING (SOUND BATT INSULATION) TO ACHIEVE A RATING OF STC 54. 4. LVT IN UNITS TO HAVE A MINIMUM 12 MIL WEAR LAYER AND PROVIDE A 15 - YEAR RESIDENTIAL WARRANTY. LVT INSTALLED IN KITCHENS, BATHROOMS, MECHANICAL CLOSETS, DINING AREAS, FOYER AND LAUNDRY AREAS MUST BE RESILIENT FLOORING LVT. SHOE MOLD MUST BE INSTALLED IN RESILIENT FLOORING AREAS. 5. PLASTIC LAMINATE MATERIAL MUST BE INSTALLED THE FULL WIDTH AND DEPTH ON THE BOTTOM SHELF OF VANITY SINK AND KITCHEN SINK CABINETS AND MUST BE CAULKED / SEALED AROUND THE FULL PERIMETER TO ALL CABINET SIDES TO PREVENT WATER/MOISTURE PENETRATION. 6. KITCHEN COUNTERTOPS MUST BE CONSTRUCTED OF 3/4" PLYWOOD BASE WITH LAMINATE TOP OR SOLID SURFACE MATERIAL. NO PARTICLE BOARD, PRESS BOARD, OR FIBER BOARD WILL BE ALLOWED. 7. ALL OPEN VOIDS ABOVE AND BELOW UPPER AND LOWER KITCHEN CABINETS SHALL BE SEALED WITH CAULK OR MATCHING MATERIAL. FINISH AND ALL CABINETS SHALL BE CAULKED WHERE CABINET MEETS A WALL SURFACE TO PREVENT PEST INFESTATION. NO OPEN VOIDS WILL BE ALLOWED. ALL OPEN VOID/SHOLES IN CABINET BACKS MUST BE SEALED WITH MATCHING CABINED MATERIAL. CAULK, OR EXPANDABLE FOAM AND ALL PIPE PENETRATIONS MUST BE COVERED WITH AN ESCUTCHEON. 8. KITCHEN CABINETS MUST BE PROVIDED ABOVE AND BELOW COUNTERTOPS. CABINETS SHALL BE CONSTRUCTED WITH SOLID WOOD OR PLYWOOD BOXES, STILES, RAILS, S. DOORS, AND DRAWER FRONTS. ALL CABINETS WILL CONFORM TO THE PERFORMANCE AND FABRICATION REQUIREMENTS OF HUD SEVERE USE AND ANSISKCMA A161.1 AND BEAR THE KCMA CERTIFICATION SEAL. NO PARTICLE BOARD, PRESS BOARD OR FIBER BOARD WILL BE ALLOWED. 9. ALL WINDOWS SHOULD BE VINYL AND HAVE NON-METAL BLINDS. ALL SLIDING WINDOWS ARE PROHIBITED. 10. ALL UNITS MUST BE PRE-WIRED FOR HIGH SPEED INTERNET, PHONE, AND DATA HOOK-UP WITH ONE CENTRALLY LOCATED CONNECTION PORT WITHIN THE UNIT WITH CAPABILITIES IN THE LIVING ROOM AND EACH BEDROOM. CABLE OUTLETS MUST BE PROVIDED IN THE MAIN LIVING AREA AND IN ALL BEDROOMS. PROVIDE ONE INTERNET ROUTER OUTLET. 11. ALL WATER-HEATER TANKS MUST BE PLACED IN AN OVERFLOW PAN PIPED TO THE EXTERIOR OF THE BUILDING. REGARDLESS OF LOCATION AND FLOOR LEVEL, UNLESS A PRIMED P-TRAP IS INSTALLED. THE TEMPERATURE AND RELIEF VALVE MUST ALSO BE PIPED TO THE EXTERIOR. WATER HEATERS MUST BE PLACED IN CLOSETS TO ALLOW FOR THEIR REMOVAL AND INSPECTION BY OR THROUGH THE CLOSET DOOR. WATER HEATERS MAY NOT BE INSTALLED OVER THE CLOTHES WASHER OR DRYER SPACE. 12. TUB SHOWER UNITS MUST BE 32" x 60" MIN FIBERGLASS BASED UNITS WITH SLIP RESISTANT FLOORS. 13. ALL DWELLING UNITS SHALL HAVE WASHER/DRYER HOOKUPS. WASHER DRYER TO BE PROVIDED BY TENANT. 14. ALL APPLIANCES MUST MEET ENERGY STAR STANDARDS PER SCH GUIDELINES. 15. CEILING FANS AND LIGHT FIXTURES TO BE CENTERED IN ROOM AND MEET ENERGY STAR STANDARDS PER SCH GUIDELINES. 16. ALL WET WALLS TO RECEIVE MOISTURE RESISTANT BACKER BOARD. 17. SEE SHEET A-XXX FOR UNIT FINISHES, PLUMBING ACCESSORIES, AND PLUMBING FIXTURE SCHEDULES 18. LEVEL 4 GYPSUM BOARD FINISH ON ALL WALLS; SMOOTH CEILING FOR ALL CEILINGS - NO TEXTURE OR POPCORN CEILINGS 19. ALL UNITS TO HAVE POWDER-BASED STOVETOP FIRE SUPPRESSION CANISTERS INSTALLED ABOVE THE RANGE COOK TOP. 20. PROVIDE BLOCKING AS NEEDED TO INSTALL ALL GRAB BARS SHOWN IN SCOPE AND FOR ANY FUTURE UNIT CONVERSIONS PER FHA.									
DHE	DUCTED RANGE HOOD EXHAUST										
DW	DISHWASHER										
DW-A	ACCESSIBLE DISHWASHER										
EP	ELECTRICAL PANEL										
GB/GBF	GRAB BAR / FOLDING GRAB BAR										
KS	KITCHEN SINK										
KS-A	KITCHEN SINK (UFAS UNITS)										
LAV	VANITY SINK										
LAV-A	VANITY SINK (UFAS UNITS)										
MI	WALL MOUNTED MIRROR W/ FRAME										
MI-A	FRAMELESS WALL MOUNTED MIRROR										
MP	MEDIA PANEL										
MW	MICROWAVE W/ INTEGRAL DUCTED EXHAUST										
MW-A	COUNTERTOP MICROWAVE										
PAN.	24" WIDE FULL HEIGHT CASEWORK PANTRY										
REF	REFRIGERATOR										
RG	RANGE										
RG-A	ACCESSIBLE RANGE										
SH-1	36" x 60" CURBLESS SHOWER PAN										
TB	TILE BASE										
TH	TOWEL HOOK										
TU	TUB										
TW	TOWEL BAR - 18 OR 24 INCHES										
W & D	WASHER / DRYER HOOK-UPS, SEE MECH										
WH	WATER HEATER BELOW AIR HANDLING UNIT										
NOTES:											
1. SEE ID FOR PLUMBING ACCESSORIES, UNIT FINISH, LIGHTING FIXTURE, AND CABINET HARDWARE SCHEDULES											
2. SEE PLUMBING FOR PLUMBING FIXTURE SCHEDULE											
3. APPLIANCE PACKAGE BY OWNER											
UNIT RCP LEGEND											
	CF - CEILING FAN/LIGHT COMBO, SWITCHED @ WALL										
	EF - EXHAUST FAN/LIGHT COMBO, SWITCH ON TIMER OR TIED TO HUMIDISTAT										
	S1 - SURFACE MOUNTED DISK LIGHT										
	S2 - SURFACE MOUNTED DISK LIGHT, WET-RATED										
	W1 - VANITY WALL MOUNTED LIGHT										
<table><tr><th colspan="2">GROSS AREA - UNIT B2</th></tr><tr><th>AREA</th><th>SQUARE FOOTAGE</th></tr><tr><td>UNIT B2 (HEATED)</td><td>1009 SF</td></tr><tr><td>UNIT B2 (OCCUPABLE BALCONY)</td><td>68 SF</td></tr><tr><td></td><td>1078 SF</td></tr></table>		GROSS AREA - UNIT B2		AREA	SQUARE FOOTAGE	UNIT B2 (HEATED)	1009 SF	UNIT B2 (OCCUPABLE BALCONY)	68 SF		1078 SF
GROSS AREA - UNIT B2											
AREA	SQUARE FOOTAGE										
UNIT B2 (HEATED)	1009 SF										
UNIT B2 (OCCUPABLE BALCONY)	68 SF										
	1078 SF										



6/19/2025 12:12:45 PM



H9 UNIT B3 - RCP
A-534 1/4" = 1'-0"

A9 UNIT B3- FLOOR PLAN
A-534 1/4" = 1'-0"

UNIT LEGEND		GENERAL UNIT NOTES
COAT	14" DEEP SHELF W/ ROD	1. ALL UNIT INTERIOR PARTITIONS TO BE TYPE (G4) U.N.O.
DHE	DUCTED RANGE HOOD EXHAUST	2. ALL DIMENSIONS ARE TO THE FACE OF STUD, U.N.O.
DW	DISHWASHER	3. UNIT PARTY WALLS AND FLOOR ASSEMBLIES REQUIRE SOUND PROOFING (SOUND BATT INSULATION) TO ACHIEVE A RATING OF STC 54.
DW-A	ACCESSIBLE DISHWASHER	4. LVT IN UNITS TO HAVE A MINIMUM 12 MIL WEAR LAYER AND PROVIDE A 15 - YEAR RESIDENTIAL WARRANTY. LVT INSTALLED IN KITCHENS, BATHROOMS, MECHANICAL CLOSETS, DINING AREAS, FOYER AND LAUNDRY AREAS MUST BE RESILIENT FLOORING LVT. SHOE MOLD MUST BE INSTALLED IN RESILIENT FLOORING AREAS.
EP	ELECTRICAL PANEL	5. PLASTIC LAMINATE MATERIAL MUST BE INSTALLED THE FULL WIDTH AND DEPTH ON THE BOTTOM SHELF OF VANITY SINK AND KITCHEN SINK CABINETS AND MUST BE CAULKED / SEALED AROUND THE FULL PERIMETER TO ALL CABINET SIDES TO PREVENT WATER/MOISTURE PENETRATION.
GB/GBF	GRAB BAR / FOLDING GRAB BAR	6. KITCHEN COUNTERTOPS MUST BE CONSTRUCTED OF 3/4" PLYWOOD BASE WITH LAMINATE TOP OR SOLID SURFACE MATERIAL. NO PARTICLE BOARD, PRESS BOARD, OR FIBER BOARD WILL BE ALLOWED.
KS	KITCHEN SINK	7. ALL OPEN VOIDS ABOVE AND BELOW UPPER AND LOWER KITCHEN CABINETS SHALL BE SEALED WITH CAULK OR MATCHING MATERIAL. FINISH AND ALL CABINETS SHALL BE CAULKED WHERE CABINET MEETS A WALL SURFACE TO PREVENT PEST INFESTATION. NO OPEN VOIDS WILL BE ALLOWED. ALL OPEN VOIDS/HOLES IN CABINET BACKS MUST BE SEALED WITH MATCHING CABINED MATERIAL, CAULK, OR EXPANDABLE FOAM AND ALL PIPE PENETRATIONS MUST BE COVERED WITH AN ESCUTCHEON.
KS-A	KITCHEN SINK (UFAS UNITS)	8. KITCHEN CABINETS MUST BE PROVIDED ABOVE AND BELOW COUNTERTOPS. CABINETS SHALL BE CONSTRUCTED WITH SOLID WOOD OR PLYWOOD BOXES, STILES, RAILS, DOORS, AND DRAWER FRONTS. ALL CABINETS WILL CONFORM TO THE PERFORMANCE AND FABRICATION REQUIREMENTS OF HUD SEVERE USE AND ANSI/KCMA A161.1 AND BEAR THE KCMA CERTIFICATION SEAL. NO PARTICLE BOARD, PRESS BOARD OR FIBER BOARD WILL BE ALLOWED.
LAV	VANITY SINK	9. ALL WINDOWS SHOULD BE VINYL AND HAVE NON-METAL BLINDS. ALL SLIDING WINDOWS ARE PROHIBITED.
LAV-A	VANITY SINK (UFAS UNITS)	10. ALL UNITS MUST BE PRE-WIRED FOR HIGH SPEED INTERNET, PHONE, AND DATA HOOK-UP WITH ONE CENTRALLY LOCATED CONNECTION PORT WITHIN THE UNIT WITH CAPABILITIES IN THE LIVING ROOM AND EACH BEDROOM. CABLE OUTLETS MUST BE PROVIDED IN THE MAIN LIVING AREA AND IN ALL BEDROOMS. PROVIDE ONE INTERNET ROUTER OUTLET.
MI	WALL MOUNTED MIRROR W/ FRAME	11. ALL WATER/HEATER TANKS MUST BE PLACED IN AN OVERFLOW PAN PIPED TO THE EXTERIOR OF THE BUILDING. REGARDLESS OF LOCATION AND FLOOR LEVEL, UNLESS A PRIMED P-TRAP IS INSTALLED. THE TEMPERATURE AND RELIEF VALVE MUST ALSO BE PIPED TO THE EXTERIOR. WATER HEATERS MUST BE PLACED IN CLOSETS TO ALLOW FOR THEIR REMOVAL AND INSPECTION BY OR THROUGH THE CLOSET DOOR. WATER HEATERS MAY NOT BE INSTALLED OVER THE CLOTHES WASHER OR DRYER SPACE.
MI-A	FRAMELESS WALL MOUNTED MIRROR	12. TUB SHOWER UNITS MUST BE 32" x 60" MIN FIBERGLASS BASED UNITS WITH SLIP RESISTANT FLOORS.
MP	MEDIA PANEL	13. ALL DWELLING UNITS SHALL HAVE WASHER/DRYER HOOKUPS. WASHER DRYER TO BE PROVIDED BY TENANT.
MW	MICROWAVE W/ INTEGRAL DUCTED EXHAUST	14. ALL APPLIANCES MUST MEET ENERGY STAR STANDARDS PER SCH GUIDELINES.
MW-A	COUNTERTOP MICROWAVE	15. CEILING FANS AND LIGHT FIXTURES TO BE CENTERED IN ROOM AND MEET ENERGY STAR STANDARDS PER SCH GUIDELINES.
PAN.	24" WIDE FULL HEIGHT CASEWORK PANTRY	16. ALL WET WALLS TO RECEIVE MOISTURE RESISTANT BACKER BOARD.
REF	REFRIGERATOR	17. SEE SHEET A-XXX FOR UNIT FINISHES, PLUMBING ACCESSORIES, AND PLUMBING FIXTURE SCHEDULES.
RG	RANGE	18. LEVEL 4 GYPSUM BOARD FINISH ON ALL WALLS. SMOOTH CEILING FOR ALL CEILINGS - NO TEXTURE OR POPCORN CEILINGS.
RG-A	ACCESSIBLE RANGE	19. ALL UNITS TO HAVE POWDER-BASED STOVETOP FIRE SUPPRESSION CANISTERS INSTALLED ABOVE THE RANGE COOK TOP.
SH-1	36" x 60" CURBLESS SHOWER PAN	20. PROVIDE BLOCKING AS NEEDED TO INSTALL ALL GRAB BARS SHOWN IN SCOPE AND FOR ANY FUTURE UNIT CONVERSIONS PER FHA.
TB	TILE BASE	
TH	TOWEL HOOK	
TU	TUB	
TW	TOWEL BAR - 18 OR 24 INCHES	
W & D	WASHER / DRYER HOOK-UPS, SEE MECH	
WH	WATER HEATER BELOW AIR HANDLING UNIT	
NOTES:		
1. SEE ID FOR PLUMBING ACCESSORIES, UNIT FINISH, LIGHTING FIXTURE, AND CABINET HARDWARE SCHEDULES		
2. SEE PLUMBING FOR PLUMBING FIXTURE SCHEDULE		
3. APPLIANCE PACKAGE BY OWNER		
UNIT RCP LEGEND		
CF - CEILING FAN/LIGHT COMBO, SWITCHED @ WALL		
EF - EXHAUST FAN/LIGHT COMBO, SWITCH ON TIMER OR TIED TO HUMIDISTAT		
S1 - SURFACE MOUNTED DISK LIGHT		
S2 - SURFACE MOUNTED DISK LIGHT, WET-RATED		
W1 - VANITY WALL MOUNTED LIGHT		
GROSS AREA - UNIT B3		
AREA		
SQUARE FOOTAGE		
UNIT B3 (HEATED)		
1013 SF		
UNIT B3 (OCCUPIABLE BALCONY)		
67 SF		
1080 SF		

OLD GREENVILLE HIGHWAY APARTMENTS

409 John Wesley Dobbs Ave.



Owner
Mercy Housing Southeast
260 Peachtree St. Suite 1800
Atlanta, GA 30303
404.931.9801

Architect
Goode Van Slyke Architecture, LLC.
409 John Wesley Dobbs Avenue
Atlanta, GA 30312
404.523.5525

Civil Engineer
Kimley-Horn
607 Pendleton Street, Suite 100
Greenville, SC 29601
864.501.5724

Structural Engineer
Shear Structural
3411 Pierce Drive, Suite 100
Chamblee, GA 30341
678.664.8051

Mechanical/Plumbing/Electrical Fire Protection
PGE: Phillips Gradick Engineering
8215 Roswell Rd, Suite 925
Atlanta, GA
770.650.9061

COPYRIGHT © 2024 GYSA

Key Plan

seal/signature

not for construction

rev date description

date 06/16/25
phase SCHEMATIC DESIGN
issued for
project number 24029

UNIT TYPE - B3

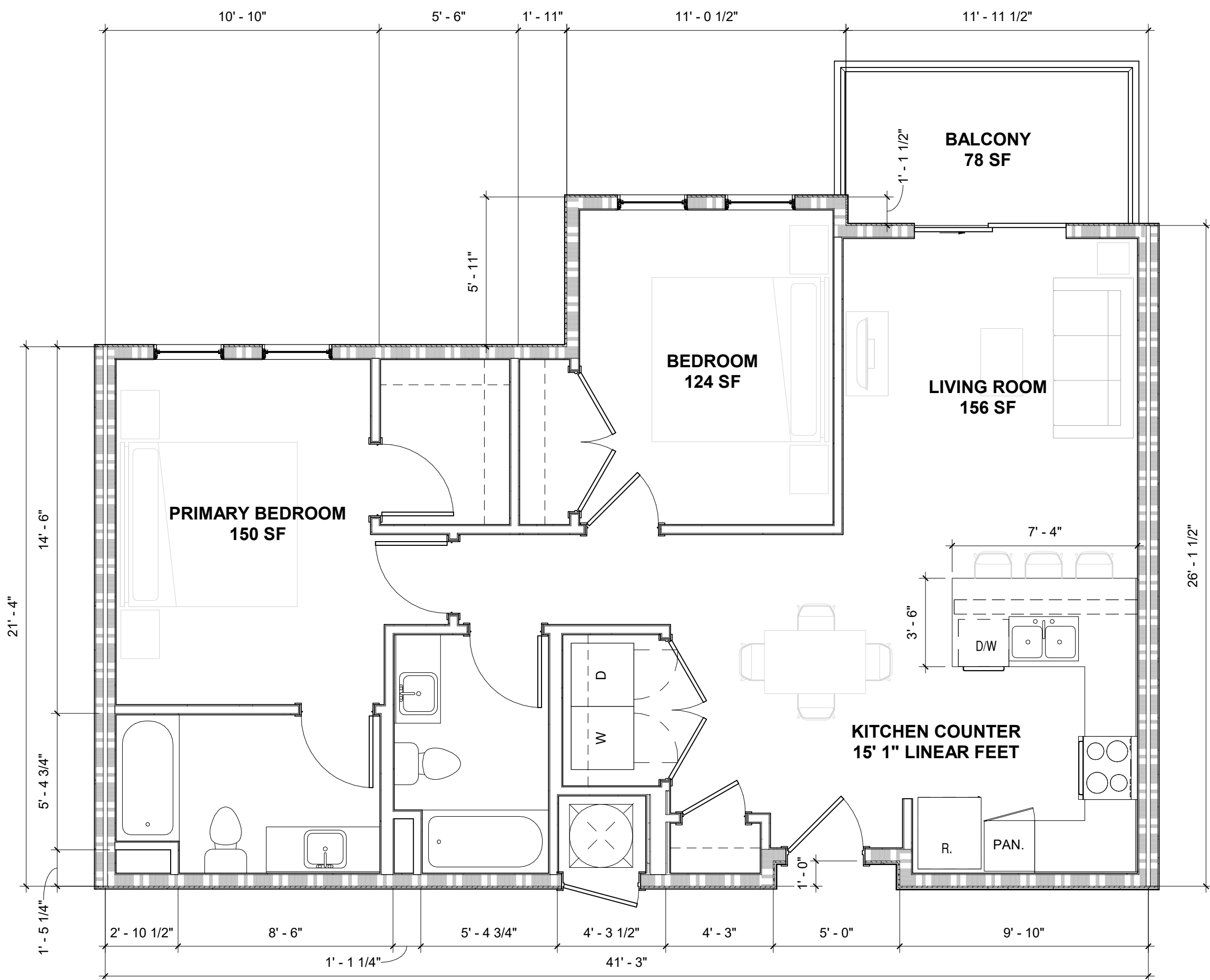
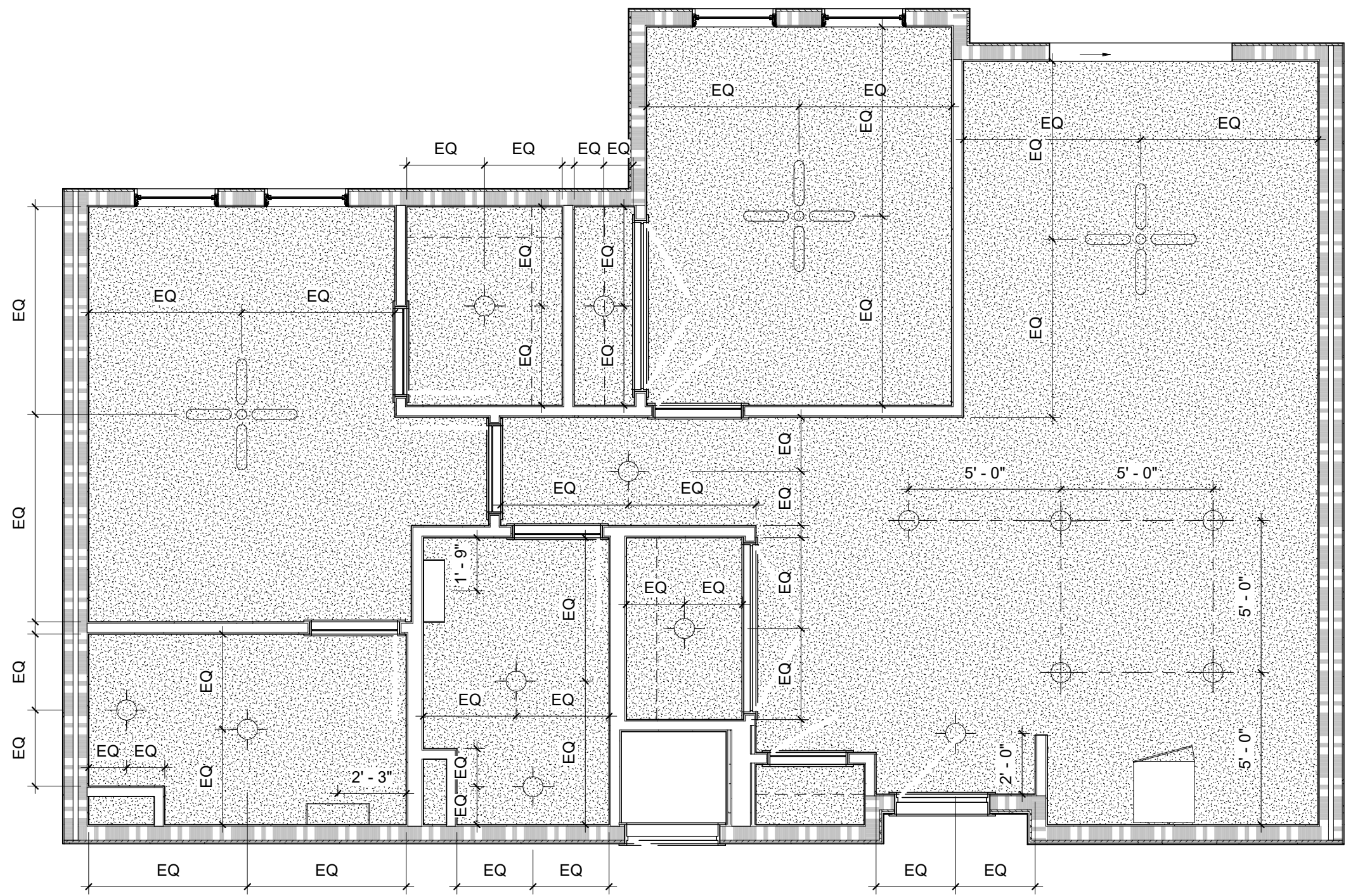
sheet number

A-534

6/19/2025 12:14:25 PM

H9 UNIT B4 - RCP
A-535 1/4" = 1'-0"

A9 UNIT B4- FLOOR PLAN
A-535 1/4" = 1'-0"



UNIT LEGEND	
COAT	14" DEEP SHELF W/ ROD
DHE	DUCTED RANGE HOOD EXHAUST
DW	DISHWASHER
DW-A	ACCESSIBLE DISHWASHER
EP	ELECTRICAL PANEL
GB/GBF	GRAB BAR / FOLDING GRAB BAR
KS	KITCHEN SINK
KS-A	KITCHEN SINK (UFAS UNITS)
LAV	VANITY SINK
LAV-A	VANITY SINK (UFAS UNITS)
MI	WALL MOUNTED MIRROR W/ FRAME
MI-A	FRAMELESS WALL MOUNTED MIRROR
MP	MEDIA PANEL
MW	MICROWAVE W/ INTEGRAL DUCTED EXHAUST
MW-A	COUNTERTOP MICROWAVE
PAN.	24" WIDE FULL-HEIGHT CASEWORK PANTRY
REF	REFRIGERATOR
RG	RANGE
RG-A	ACCESSIBLE RANGE
SH-1	36" x 60" CURBLESS SHOWER PAN
TB	TILE BASE
TH	TOWEL HOOK
TU	TUB
TW	TOWEL BAR - 18 OR 24 INCHES
W & D	WASHER / DRYER HOOK-UPS, SEE MECH
WH	WATER HEATER BELOW AIR HANDLING UNIT

- NOTES:
- SEE ID FOR PLUMBING ACCESSORIES, UNIT FINISH, LIGHTING FIXTURE, AND CABINET HARDWARE SCHEDULES.
 - SEE PLUMBING FOR PLUMBING FIXTURE SCHEDULE
 - APPLIANCE PACKAGE BY OWNER

UNIT RCP LEGEND

- CF - CEILING FAN/LIGHT COMBO, SWITCHED @ WALL
- EF - EXHAUST FAN/LIGHT COMBO, SWITCH ON TIMER OR TIED TO HUMIDISTAT
- S1 - SURFACE MOUNTED DISK LIGHT
- S2 - SURFACE MOUNTED DISK LIGHT, WET-RATED
- W1 - VANITY WALL MOUNTED LIGHT

GROSS AREA - UNIT B4	
AREA TYPE	AREA
UNIT B4 (HEATED)	998 SF
UNIT B4 (OCCUPIABLE BALCONY)	78 SF
	1075 SF

GENERAL UNIT NOTES

- ALL UNIT INTERIOR PARTITIONS TO BE TYPE (S4) U.N.O.
- ALL DIMENSIONS ARE TO THE FACE OF STUD, U.N.O.
- UNIT PARTY WALLS AND FLOOR ASSEMBLIES REQUIRE SOUND PROOFING (SOUND BATT INSULATION) TO ACHIEVE A RATING OF STC 54.
- LVT IN UNITS TO HAVE A MINIMUM 12 MIL WEAR LAYER AND PROVIDE A 15-YEAR RESIDENTIAL WARRANTY. LVT INSTALLED IN KITCHENS, BATHROOMS, MECHANICAL CLOSETS, DINING AREAS, FOYER AND LAUNDRY AREAS MUST BE RESILIENT FLOORING LVT. SHOE MOLD MUST BE INSTALLED IN RESILIENT FLOORING AREAS.
- PLASTIC LAMINATE MATERIAL MUST BE INSTALLED THE FULL WIDTH AND DEPTH ON THE BOTTOM SHELF OF VANITY SINK AND KITCHEN SINK CABINETS AND MUST BE CAULKED / SEALED AROUND THE FULL PERIMETER TO ALL CABINET SIDES TO PREVENT WATER/MOISTURE PENETRATION.
- KITCHEN COUNTERTOPS MUST BE CONSTRUCTED OF 3/4" PLYWOOD BASE WITH LAMINATE TOP OR SOLID SURFACE MATERIAL. NO PARTICLE BOARD, PRESS BOARD, OR FIBER BOARD WILL BE ALLOWED.
- ALL OPEN VOIDS ABOVE AND BELOW UPPER AND LOWER KITCHEN CABINETS SHALL BE SEALED WITH CAULK OR MATCHING MATERIAL. FINISH AND ALL CABINETS SHALL BE CAULKED WHERE CABINET MEETS A WALL SURFACE TO PREVENT PEST INFESTATION. NO OPEN VOIDS WILL BE ALLOWED. ALL OPEN VOIDS/HOLES IN CABINET BACKS MUST BE SEALED WITH MATCHING CABINET MATERIAL. CAULK, OR EXPANDABLE FOAM AND ALL PIPE PENETRATIONS MUST BE COVERED WITH AN ESCUTCHEON.
- KITCHEN CABINETS MUST BE PROVIDED ABOVE AND BELOW COUNTERTOPS. CABINETS SHALL BE CONSTRUCTED WITH SOLID WOOD OR PLYWOOD BOXES, STILES, RAILS, DOORS, AND DRAWER FRONTS. ALL CABINETS WILL CONFORM TO THE PERFORMANCE AND FABRICATION REQUIREMENTS OF HUD SEVERE USE AND ANSI/KCMA A161.1 AND BEAR THE KCMA CERTIFICATION SEAL. NO PARTICLE BOARD, PRESS BOARD OR FIBER BOARD WILL BE ALLOWED.
- ALL WINDOWS SHOULD BE VINYL AND HAVE NON-METAL BLINDS. ALL SLIDING WINDOWS ARE PROHIBITED.
- ALL UNITS MUST BE PRE-WIRED FOR HIGH SPEED INTERNET, PHONE, AND DATA HOOK-UP WITH ONE CENTRALLY LOCATED CONNECTION PORT WITHIN THE UNIT WITH CAPABILITIES IN THE LIVING ROOM AND EACH BEDROOM. CABLE OUTLETS MUST BE PROVIDED IN THE MAIN LIVING AREA AND IN ALL BEDROOMS. PROVIDE ONE INTERNET ROUTER OUTLET.
- ALL WATER-HEATER TANKS MUST BE PLACED IN AN OVERFLOW PAN PIPED TO THE EXTERIOR OF THE BUILDING. REGARDLESS OF LOCATION AND FLOOR LEVEL, UNLESS A PRIMED P-TRAP IS INSTALLED. THE TEMPERATURE AND RELIEF VALVE MUST ALSO BE PIPED TO THE EXTERIOR. WATER HEATERS MUST BE PLACED IN CLOSETS TO ALLOW FOR THEIR REMOVAL AND INSPECTION BY OR THROUGH THE CLOSET DOOR. WATER HEATERS MAY NOT BE INSTALLED OVER THE CLOTHES WASHER OR DRYER SPACE.
- TUB SHOWER UNITS MUST BE 32" x 60" MIN FIBERGLASS BASED UNITS WITH SLIP RESISTANT FLOORS.
- ALL DWELLING UNITS SHALL HAVE WASHER/DRYER HOOKUPS. WASHER DRYER TO BE PROVIDED BY TENANT.
- ALL APPLIANCES MUST MEET ENERGY STAR STANDARDS PER SCH GUIDELINES.
- CEILING FANS AND LIGHT FIXTURES TO BE CENTERED IN ROOM AND MEET ENERGY STAR STANDARDS PER SCH GUIDELINES.
- ALL WET WALLS TO RECEIVE MOISTURE RESISTANT BACKER BOARD.
- SEE SHEET A-XXX FOR UNIT FINISHES, PLUMBING ACCESSORIES, AND PLUMBING FIXTURE SCHEDULES.
- LEVEL 4 GYPSUM BOARD FINISH ON ALL WALLS. SMOOTH CEILING FOR ALL CEILINGS - NO TEXTURE OR POPCORN CEILINGS.
- ALL UNITS TO HAVE POWDER-BASED STOVETOP FIRE SUPPRESSION CANISTERS INSTALLED ABOVE THE RANGE COOK TOP.
- PROVIDE BLOCKING AS NEEDED TO INSTALL ALL GRAB BARS SHOWN IN SCOPE AND FOR ANY FUTURE UNIT CONVERSIONS PER FHA.

OLD GREENVILLE HIGHWAY APARTMENTS

409 John Wesley Dobbs Ave.



Owner
Mercy Housing Southeast
260 Peachtree St. Suite 1800
Atlanta, GA 30303
404.931.9801

Architect
Goode Van Slyke Architecture, LLC.
409 John Wesley Dobbs Avenue
Atlanta, GA 30312
404.523.5525

Civil Engineer
Kimley-Horn
607 Pendleton Street, Suite 100
Greenville, SC 29601
864.501.5724

Structural Engineer
Shear Structural
3411 Pierce Drive, Suite 100
Chamblee, GA 30341
678.664.8051

Mechanical/Plumbing/Electrical Fire Protection
PGE: Phillips Gradick Engineering
8215 Roswell Rd, Suite 925
Atlanta, GA
770.650.9061

COPYRIGHT © 2024 GYSA

Key Plan

seal/signature

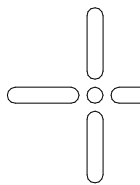

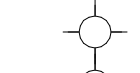
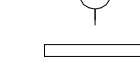

rev date description

date 06/16/25
phase SCHEMATIC DESIGN
issued for
project number 24029

UNIT TYPE - B4

sheet number

A-535

UNIT RCP LEGEND											
	CF - CEILING FAN/LIGHT COMBO, SWITCHED @ WALL										
	EF - EXHAUST FAN/LIGHT COMBO, SWITCH ON TIMER OR TIED TO HUMIDISTAT										
	S1 - SURFACE MOUNTED DISK LIGHT										
	S2 - SURFACE MOUNTED DISK LIGHT, WET-RATED										
	W1 - VANITY WALL MOUNTED LIGHT										
<table border="1"> <tr> <th colspan="2">GROSS AREA - UNIT C1 UFAS</th></tr> <tr> <th>AREA</th><th>SQUARE FOOTAGE</th></tr> <tr> <td>UNIT C1 UFAS (HEATED)</td><td>1210 SF</td></tr> <tr> <td>UNIT C1 UFAS (OCCUPIABLE BALCONY)</td><td>65 SF</td></tr> <tr> <td></td><td>1274 SF</td></tr> </table>		GROSS AREA - UNIT C1 UFAS		AREA	SQUARE FOOTAGE	UNIT C1 UFAS (HEATED)	1210 SF	UNIT C1 UFAS (OCCUPIABLE BALCONY)	65 SF		1274 SF
GROSS AREA - UNIT C1 UFAS											
AREA	SQUARE FOOTAGE										
UNIT C1 UFAS (HEATED)	1210 SF										
UNIT C1 UFAS (OCCUPIABLE BALCONY)	65 SF										
	1274 SF										

